

SITE PLAN REVIEW AGENDA
Wednesday, November 6, 2024
1:30 PM
City of Tulare

ITEM No. 1 Preliminary Site Plan Review
Site Plan No SP 24-76
Project Title TCSO New Bus Maintenance Facility
Description bus maintenance facility

Applicant Javier Hernandez
Property Owner TCSO
APN 170-194-011
Location 600 N Cherry

ITEM No. 2
Site Plan No
Project Title
Description

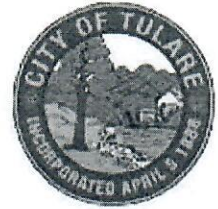
Applicant
Property Owner
APN
Location

ITEM No. 3
Site Plan No
Project Title
Description

Applicant
Property Owner
APN
Location

ITEM No. 4
Site Plan No
Project Title
Description

Applicant
Property Owner
APN
Location



CITY OF TULARE SITE PLAN REVIEW

PURPOSE & INTENT

Site Plan Review is a pre-application process that gives citizens relevant feedback on any changes they wish to make to a site. Whether there are proposed physical alterations to a site or a change of use, site plan review will provide initial guidance for the project in order to meet all applicable codes and requirements of the City of Tulare. Feedback from Site Plan Review can help citizens maintain their property legally and produce coherence among the varying city land uses. Site Plan Review seeks to help sites develop in a way that enriches the community that they are in.

When an application is submitted to Site Plan Review, it is first reviewed by various divisions of the Community & Economic Development Department so that all applicable sections of the Tulare Municipal Code can be applied and enforced on the site. The divisions within the Community & Economic Development Department include Planning, Engineering, Building, Police, Fire, Solid Waste. These divisions review the Site Plan so that they can proactively deal with any problems that could arise from the proposed site changes.

Tulare's Site Plan Review process is unique in that it is a **free service** that can help citizens use their land in a manner that has been determined to be consistent with the City Municipal Code and mitigates any future conflict with the site. The Code does not seek to restrict property rights, but rather to produce compatibility with adjacent land uses while holding the site to the high standards that have helped make Tulare a better community.

The Site Plan Review Committee will try to ensure that each site is:

- *Safe* from a structural and functional standpoint
- *Fluid* in that pedestrian and vehicle traffic have adequate access to the site
- *Compatible* with surrounding land uses and the character of the neighborhood in which it exists
- *Equitable* so that all citizens have equal access to the facility

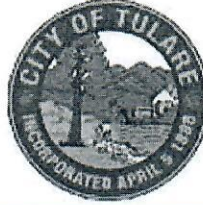
The applicant will meet with representatives from the Planning, Engineering, Building, Police, Fire, and Solid Waste Divisions who will help explain the findings of the Site Plan Review Committee. The representatives will work with the applicant to plan for the next steps in utilizing their site to suit their wants and needs.

The Site Plan Review process will either require that a site plan be resubmitted with pertinent changes or mark the site plan to revise and proceed (perhaps with minor changes). Once given a "revise and proceed" the site plan can continue on the development process and apply for any permits that may be required of the project.

SITE PLAN REVIEW INFORMATION

- **Time:** *Site Plan Review takes place each Wednesday at 1:30pm except in the case of a holiday*
- **Location:** *Site Plan Review meets in the Community Room at Tulare City Hall – 411 East Kern Avenue*
- **Applications:** *must be submitted by 3 pm the Thursday before an applicant wishes to attend Site Plan Review**
- **Resources:** *Site Plan Review Agendas and Applications are available at:
<http://www.tulare.ca.gov/departments/community-development/development-services/planning>*
- **Applications may also be picked-up in hardcopy at Tulare City Hall, 411 East Kern Avenue.**

EXAMPLES OF SITE PLANS: On most Mondays, copies of the Site Plans scheduled for Wednesday are available for review at the front counter at 411 E. Kern. Reviewing other Site Plans may be helpful for potential applicants who are not familiar with the Site Plan Review process and criteria.



-- THIS AREA FOR CITY STAFF USE ONLY --

Date Received: _____

SPR Agenda: _____ Item No. _____

Zoning: _____ GP Designation: _____

CITY OF TULARE SITE PLAN REVIEW APPLICATION

*This application MUST be filled out in its entirety and submitted with **ten (10) copies** of an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda.*

All plans to be considered on the next available agenda must be submitted by 3:00pm on the Thursday prior to the meeting.

SITE PLAN MEETINGS ARE HELD ON WEDNESDAYS AT 1:30 PM AT TULARE CITY HALL-COMMUNITY ROOM – 411 E KERN AVE – APPLICANT OR REPRESENTATIVE MUST BE PRESENT

GENERAL PROJECT INFORMATION

Project/Business Name: TCSD New Bus Maintenance Facility Date: 10/28/2024

Project Description: Construction of a new pre-engineered Bus Maintenance Building, bus wash shelter, drive approach with automatic swing gates, chain link fencing, perimeter site lighting, concrete flatwork, & site utilities to support new building

Site Plan Review Submittal: Yes No If Resubmittal, Previous Site Plan Review No: _____

Property Owner: Tulare City School District Applicant(s) Name: Joyce Nunes

Property Address/Location: 600 N. Cherry Street, Tulare, CA Assessor Parcel No. (APN): 170-194-011

Parcel Size (Acreage or Sq Ft.): 4.69 Acres (204,296 SF) Building Square Footage: 7,095 SF

Describe All Proposed Building Modifications: Construction of a new pre-engineered Bus Maintenance Building

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Industrial & Commercial

Existing/Prior Land or Building Use: Existing Maintenance & Operations Department for Tulare City School District

Proposed Building or Land Use: No change in land use and/or function

Proposed Hours of Operation: 6am-5pm Days of Week in Operation (Circle): Su **M T W Th F** Sa

Number of Existing Parking Stalls: N/A Number of Proposed New Parking Stalls: N/A

Number of Existing or Anticipated New Employees: 4-6 Anticipated No. of Trucks/day: None

Brief Operational Statement: Provide a facility for TCSD Transportation Department to service & maintain existing bus fleet

Page 1 of 2 – Application continues on the back of this page

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Residential

Is the project: New construction Remodel

Single-Family Residential Multi-Family Residential

Number of dwelling units: _____ Total of area (in square feet): _____

Total lot coverage of buildings or structures (in square feet): _____ Percentage of lot coverage _____%

Proposed project phasing: Yes No If yes, proposed number of phases: _____

SITE PLAN MINIMUM REQUIREMENTS

The Applicant shall submit **ten (10) copies** of the proposed site plan along with this completed Application to the Office of Community & Economic Development. Suggested minimum sheet size for site plans is 11"x17" folded to a legal size of 9"x12" with the print on the outside. No rolled plans accepted. (Excludes tentative and parcel maps)

The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information: (*Municipal Code Section 10.120.040*)

- | | |
|--|--|
| <ul style="list-style-type: none"> ✓ Address ✓ Assessor's parcel number ✓ Vicinity map on cover sheet ✓ Scale and north arrow ✓ Dimensions of property ✓ Existing and proposed structures showing distances from Property lines ✓ Location and height of proposed fences, walls ✓ Existing and proposed parking stalls (include ADA) | <ul style="list-style-type: none"> ✓ Location and width of drive approaches ✓ Method of on-site drainage ✓ Location of existing and/or proposed public improvements ✓ Method of sanitary disposal ✓ Location and wide of drive approaches to site ✓ Adjacent street names ✓ Existing and proposed landscaping ✓ Location of signs and size ✓ Elevations if required by City Planner |
|--|--|

Failure to provide all requested information my result in your application being rejected and excluded from the Site Plan Review agenda

Applicant Information (Final Comments will be mailed to the name and address provided below.)

***If signed by an authorized agent, an "Agency Authorization" must be completed for this application to be considered complete.**



Name: Javier Hernandez, TETER, Inc.

Address: 125 S. Bridge St. Ste. 150

City, State, Zip: Visalia, CA 93291

Phone: (559) 625-5246

E-Mail: javier.hernandez@teterae.com

Signature of Owner or Authorized Agent*	
 Owner	<u>10/30/24</u> Date
 Authorized Agent*	<u>10/28/2024</u> Date

-THIS AREA FOR CITY STAFF USE ONLY-

APPLICATION DEEMED COMPLETE

By: _____

Date: _____

Community & Economic Development Department
411 East Kern Avenue
Tulare, CA 93274
(559) 684.4217 Fax (559) 685.2339



-- THIS AREA FOR CITY STAFF USE ONLY --

Date Received: _____

SPR No. _____

APPROVED:
By: _____ Date: _____
(Signature)

AGENCY AUTHORIZATION – Site Plan Review

OWNER:

I, Joyce Nunes, TCSD Assistant Superintendent (Business), declare as follows:
(Owners Name)

I am the owner of certain real property bearing Assessor's Parcel Number (APN):

170-194-011 _____

AGENT:

I designate Javier Hernandez, TETER, Inc., to act as my duly authorized agent for all purposes
(Agent's Name)

necessary to file an application for, and obtain a permit to:
Construct a new pre-engineered Bus Maintenance Building on behalf of Tulare City School District
(Action Sought)

relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 28 day of October, 20 24.

<p>OWNER</p> <p><u>Joyce Huff Nunes</u> (*Signature of Owner)</p> <p><u>600 N. Cherry Street</u> (Owner Mailing Address)</p> <p><u>(559) 685-7200</u> (Owner Telephone)</p>	<p>AGENT</p> <p><u>Javier Hernandez</u> (Signature of Agent)</p> <p><u>125 S. Bridge St. Ste. 150, Visalia, CA 93291</u> (Agent Mailing Address)</p> <p><u>(559) 625-5246 (Office)</u> <u>(559) 827-3149 (Mobile)</u> (Agent Telephone)</p>
---	---

***NOTE: OWNER'S SIGNATURE MUST BE NOTARIZED. Attach Acknowledgment of signature(s) by Notary Public.**

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

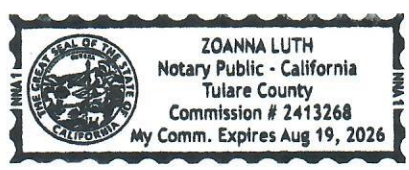
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Tulare

On October 30, 2024 before me, Zoanna Luth, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Joyce H Nunes
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Zoanna Luth
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

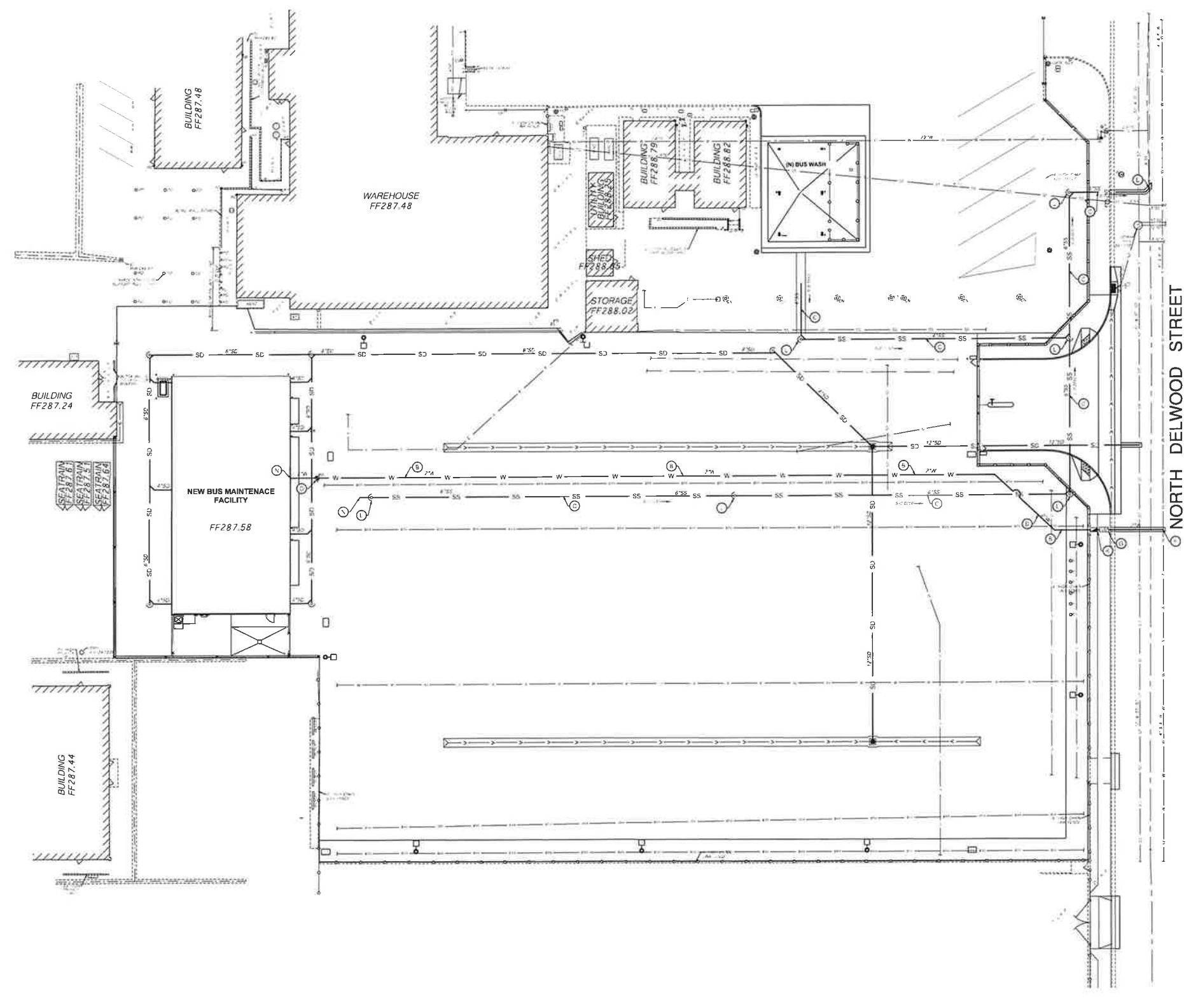
Description of Attached Document

Title or Type of Document: City of Tulare Site Plan Review
Document Date: 10/28/2024 Number of Pages: 3
Signer(s) Other Than Named Above: None

Capacity(ies) Claimed by Signer(s)

Signer's Name: Joyce H Nunes Signer's Name: _____
 Corporate Officer - Title(s): _____ Corporate Officer - Title(s): _____
 Partner - Limited General Partner - Limited General
 Individual Attorney in Fact Individual Attorney in Fact
 Trustee Guardian or Conservator Trustee Guardian or Conservator
 Other: TCSD Assistant Superintendent Other: _____
Signer is Representing: Tulare City School District Signer is Representing: _____

PLOT DATE:



SEWER AND WATER LEGEND:

- (A) NOT LISTED
- (B) FURNISH AND INSTALL P.V.C. 12" SD DOMESTIC WATER PIPELINE BACKFILL TRENCH PER CITY OF TULARE STD. SPEC. 6020
- (C) FURNISH AND INSTALL P.V.C. 12" SD SEWER PIPELINE BACKFILL TRENCH PER CITY OF TULARE STD. SPEC. 6020
- (D) NOT LISTED
- (E) MAKE CONNECTION TO EXISTING SEWER PIPELINE 11" CITY OF TULARE STD. SPEC. 6035
- (F) MAKE CONNECTION TO EXISTING WATER PIPELINE PER CITY OF TULARE STD. SPEC. 6270
- (G) FURNISH AND INSTALL WATER METER HAS 30A PER CITY OF TULARE STD. SPEC. 6270
- (H) NOT LISTED
- (I) NOT LISTED
- (J) NOT LISTED
- (K) FURNISH AND INSTALL DOMESTIC WATER BACKFLOW PREVENTER PER CITY OF TULARE STD. SPEC. 6415
- (L) FURNISH AND INSTALL 8" X 8" CLEANOUT PER DITAL J. C. & C.
- (M) NOT LISTED
- (N) MAKE CONNECTION TO EXISTING PLUMBING UTILITIES
- (O) FURNISH AND INSTALL 1/2" GATE VALVE PER DITAL J. C. & C.
- (P) NEW SEWER CLEANOUT
- (Q) NEW BACKFLOW PREVENTER
- (R) NEW WATER METER
- (S) NEW WATER VALVE
- (T) NEW STORM DRAIN PIPELINE SEE GRADING AND DRAINAGE PLAN
- (U) NEW STAFF PIPELINE PER SET AS NOTED ON PLAN PIPE SLOPE AND ORIENTATION OF TRENCH AS SHOWN
- (V) NEW DOMESTIC WATER PIPELINE PIPE SIZE AS NOTED ON PLAN

SEWER AND WATER NOTES:

1. AS A FIRST ORDER OF WORK, CONTRACTOR TO PROVIDE AS NECESSARY TO LOCATE THE EXISTING UTILITIES IN ACCORD TO THE DESIGN ENGINEER'S INFORMATION AND VERTICAL LOCATION AND TO ASSESS THE LOCATION OF THE EXISTING UTILITIES AND MAKE ANY NECESSARY ADJUSTMENTS TO THE EXISTING UTILITIES. APPROVAL OF THE CITY OF TULARE IS REQUIRED TO PROCEED WITH ANY ADJUSTMENTS TO THE EXISTING UTILITIES.
2. FOR ALL OFF-SITE WORK, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY CITY OF TULARE PERMITS AND FEE'S.
3. WATER OBTAINED FROM ANY OFF-SITE THE HYDRANTS ARE SUBJECT TO ALL CITY OF TULARE WATER USE FEES.

MARK	DATE	DESCRIPTION
A	10/25/2024	100% CONSTRUCTION DOCUMENTS

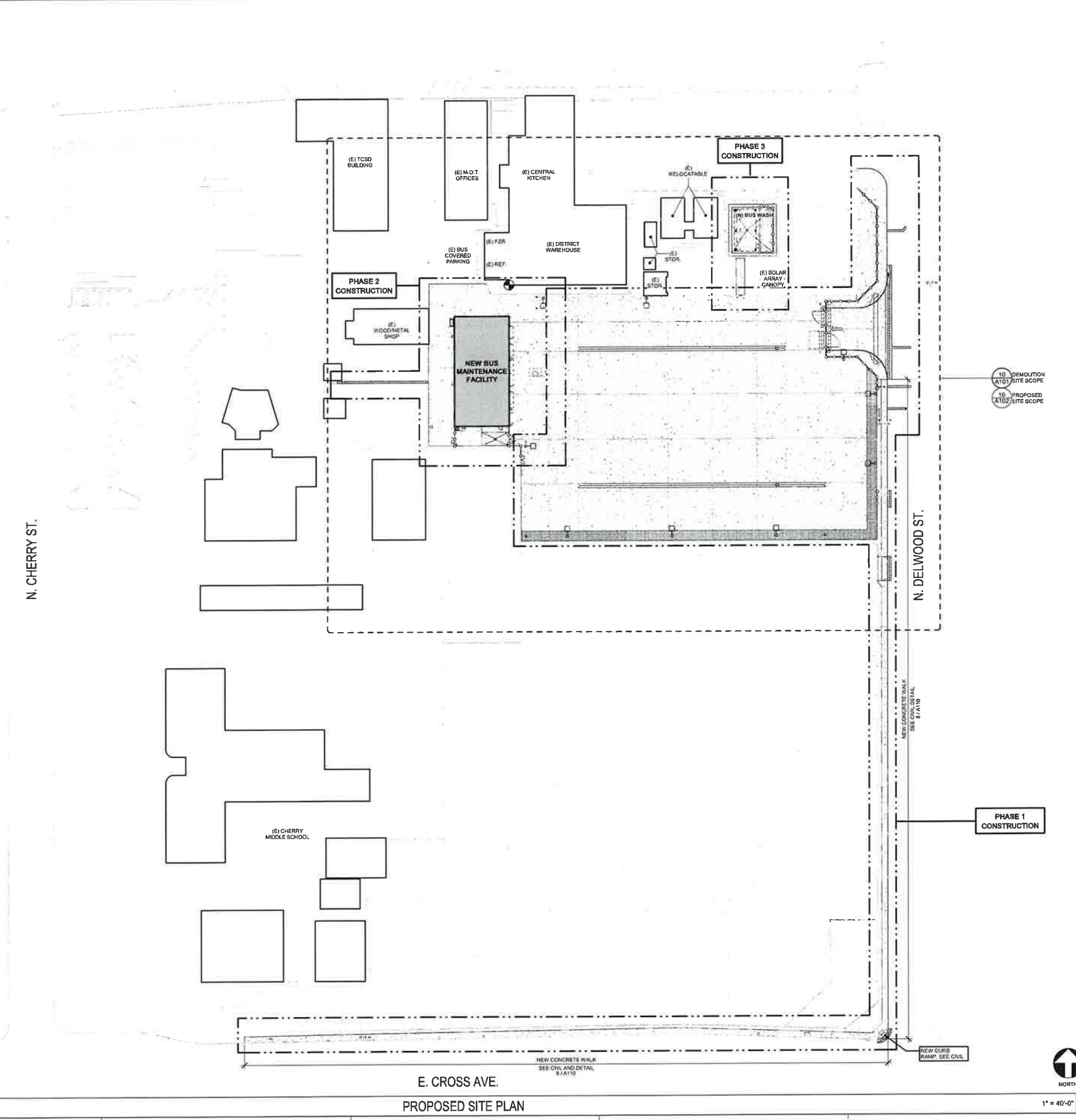
TETER, INC.
 FRENO HEADQUARTERS
 1050 S. 1ST STREET, FRENO, CA 93721
 ARCHITECTS ENGINEERS CONNECTED



NEW BUS MAINTENANCE FACILITY
 TULARE CITY SCHOOL DISTRICT
 600 N. CHERRY ST.
 TULARE, CA 93274
 DRAWING TITLE: SEWER AND WATER PLAN

PROJECT NO.
23-12891.01
 DRAWING
C5.0

REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 No. 42019
 10/19/88
 2024
 2422 W. 5444 AVENUE #104
 FRENO, CALIFORNIA 93711
 TEL: 558-442-1815
 FAX: 558-442-1339
 WWW.TETERENGINEERING.COM
AME
 ALLEN-MORRIS ENGINEERING



LEGEND

	EXISTING BUILDING NOT IN SCOPE OF WORK
	EXISTING ASPHALT PAVING AND/OR CONCRETE PAVING TO REMAIN
	EXISTING TURF/LANDSCAPE AREA TO REMAIN
	EXISTING DIRT/GRAVEL AREA TO REMAIN
	PROPOSED BUILDING UNDER THIS SCOPE OF WORK
	NEW CONCRETE PAVING. SEE CIVIL
	CONTROL JOINT/EXPANSION JOINT. SEE CIVIL & 1 / A110
	NEW ASPHALT PAVING. SEE CIVIL
	NEW DECOMPOSED GRANITE. SEE CIVIL
	EXISTING CHAINLINK FENCE WITH MOWSTRIP
	NEW CHAINLINK FENCE 8'-0" HIGH WITH MOWSTRIP MATCH EXISTING MOWSTRIP WIDTH. SEE 2 / A110 & 6 / A111
	EXISTING LIGHT POLE. SEE ELECTRICAL
	FIRE HYDRANT:
	EXISTING
	NEW
	LIMITS OF CONSTRUCTION

- ### GENERAL NOTES
- KEYNOTES APPLY TO THIS DRAWING ONLY.
 - FINISH GRADE SHALL HAVE 1% SLOPE AWAY FROM THE BUILDING FOR A DISTANCE NOT LESS THAN 5'-0" FROM THE BUILDING.
 - ALL DIMENSIONS AS SHOWN ARE BASED ON RECORD INFORMATION AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - EXTERIOR CONCRETE LANDINGS AT DOORS SHALL NOT BE MORE THAN 1/4" INCH LOWER THAN DOORWAY THRESHOLD WITH 1/4" INCH PER FOOT SLOPE MAX.
 - SEE CIVIL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION AND FOR UNDERGROUND UTILITIES. SCOPE MAY AFFECT AREAS NOT NOTED IN ARCHITECTURAL DRAWINGS.
 - CONTRACTOR SHALL PROTECT EXISTING UTILITIES IN PLACE.

MARK	DATE	DESCRIPTION
A	10/25/2024	100% CONSTRUCTION DOCUMENTS

TETER, INC.
FRESHO HEADQUARTERS
VISALIA | BAKERSFIELD | MODOSTO | SAN LUIS OBISPO
ARCHITECTS ENGINEERS CONNECTED

NEW BUS MAINTENANCE FACILITY
TULARE CITY SCHOOL DISTRICT
600 N. CHERRY ST.
TULARE, CA 93274

PROJECT NO.
23-12891.01

DRAWING TITLE
A100

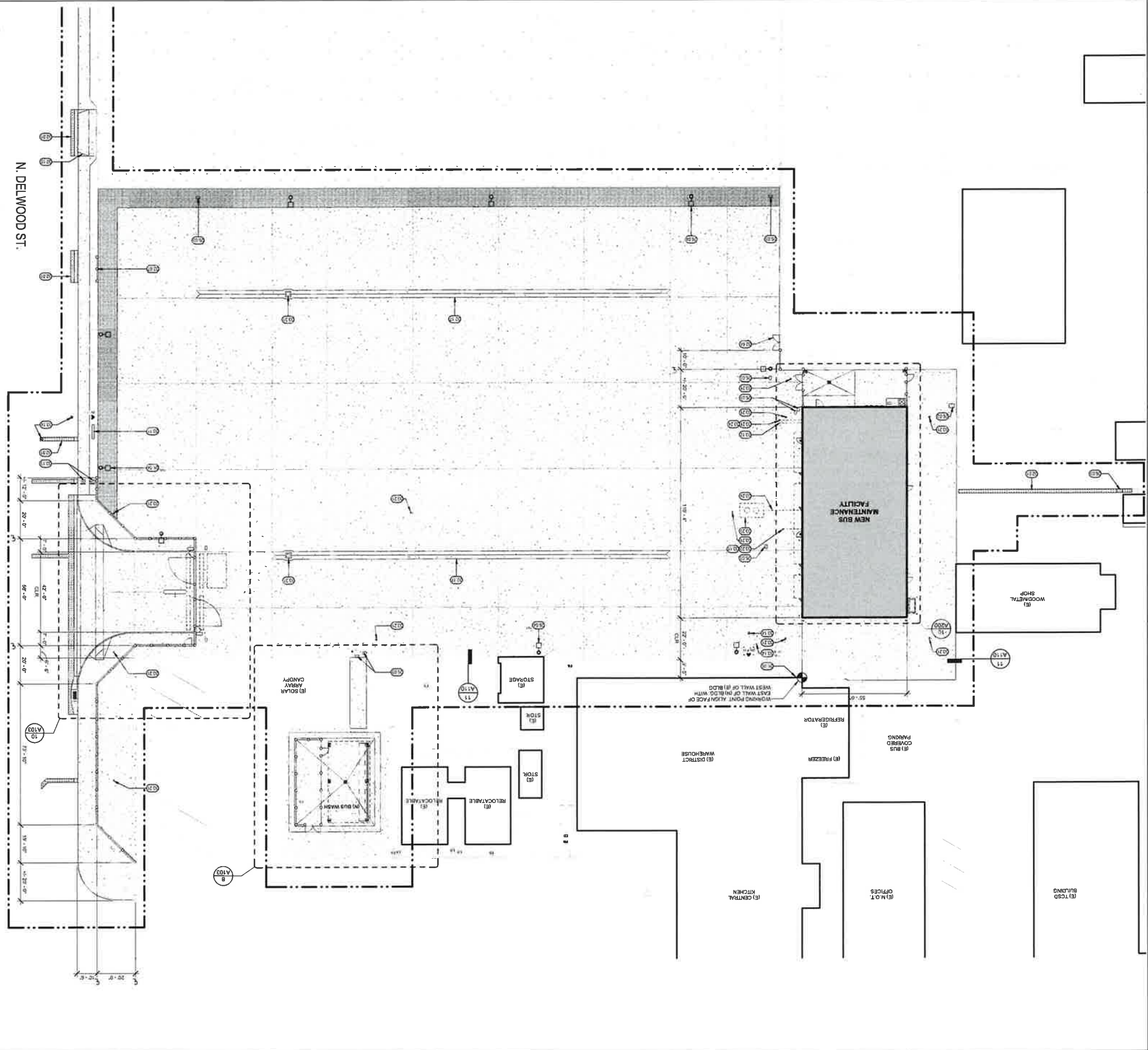
OVERALL SITE PLAN

1" = 40'-0"

10

PROPOSED SITE PLAN

1" = 20'-0"



GENERAL NOTES

- A. KEYNOTES APPLY TO THIS DRAWING ONLY.
- B. FINISH GRADE SHALL HAVE 1'-0" SLOPE AWAY FROM THE BUILDING FOR A DISTANCE NOT LESS THAN 5'-0" FROM THE BUILDING.
- C. ALL DIMENSIONS ARE SHOWN BASED ON RECORD INFORMATION AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- D. EXTERIOR CONCRETE THRESHOLDS AT DOORS SHALL NOT BE MORE THAN 1/4" INCH LOWER THAN DOORWAY THRESHOLD WITH 1/4" INCH PER FOOT SLOPE MAX.
- E. SEE CIVIL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION AND FOR UNDERGROUND UTILITIES. SCOPE MAY AFFECT AREAS NOT NOTED IN ARCHITECTURAL DRAWINGS.
- F. CONTRACTOR SHALL PROTECT EXISTING UTILITIES IN PLACE.

- LEGEND**
- EXISTING BUILDING, NOT IN SCOPE OF WORK
 - EXISTING ASPHALT PAVING AND/OR CONCRETE PAVING TO REMAIN
 - EXISTING TURF/LANDSCAPE AREA TO REMAIN
 - EXISTING DRIVE/PARKING AREA TO REMAIN
 - PROPOSED BUILDING UNDER THIS SCOPE OF WORK
 - NEW CONCRETE PAVING SEE CIVIL & 1/1/19
 - CONTROL JOINT/EXPANSION JOINT SEE CIVIL & 1/1/19
 - NEW ASPHALT PAVING, SEE CIVIL
 - NEW DECOMPOSED GRANITE, SEE CIVIL
 - EXISTING CHANNEL FENCE WITH MOWSTRIP
 - NEW CHANNEL FENCE 8'-0" HIGH WITH MOWSTRIP & 5/1/19
 - MATCH EXISTING MOWSTRIP WIDTH, SEE 1/1/19 & 5/1/19
 - EXISTING LIGHT POLE, SEE ELECTRICAL
 - DIRELTYRMENT
 - EXISTING
 - NEW
 - LIMITS OF CONSTRUCTION

- KEYNOTES**
- 56.03 FULL BOX SEE ELECTRICAL
 - 76.04 LIGHT POLE, SEE ELECTRICAL
 - 86.05 FULL CAN, SEE ELECTRICAL
 - 86.06 ASPHALT PAVING IN/OUT MATCH FLUSH WITH EXISTING ADJACENT SURFACE, SEE CIVIL
 - 20.15 CURB MARK, SEE CIVIL
 - 20.17 CONCRETE CURB/LE, SEE CIVIL
 - 20.64 CHAIN LINK DOUBLE GATE, 8'-0" WIDE, SEE 4/1/11
 - 20.67 ABOVE GROUND DOUBLE CHECK VALVE W/INTERGRAL INFL GATE OPENING WITH CHAIN LINK FENCING FABRIC
 - 23.17 FDC, SEE FIRE SPRINKLER DRAWINGS
 - 23.18 FDC, SEE FIRE SPRINKLER DRAWINGS
 - 23.19 WATER SERVICE FOR CONTINUATION SEE FIRE SPRINKLER DRAWINGS
 - 23.20 WATER SERVICE FOR CONTINUATION SEE FIRE SPRINKLER DRAWINGS
 - 23.21 WATER SERVICE FOR CONTINUATION SEE FIRE SPRINKLER DRAWINGS
 - 23.22 SURFACE CLEAN OUT, SEE CIVIL AND PLUMBING PLUMBING DRAWINGS
 - 23.23 SURFACE CLEAN OUT, SEE CIVIL AND PLUMBING PLUMBING DRAWINGS
 - 23.24 SAND OR W/PERFORATED LEAF PLUMBING
 - 23.25 SANITARY SEWER SERVICE, FOR CONTINUATION SEE CIVIL AND PLUMBING DRAWINGS
 - 23.26 GROUND INLET, SEE CIVIL

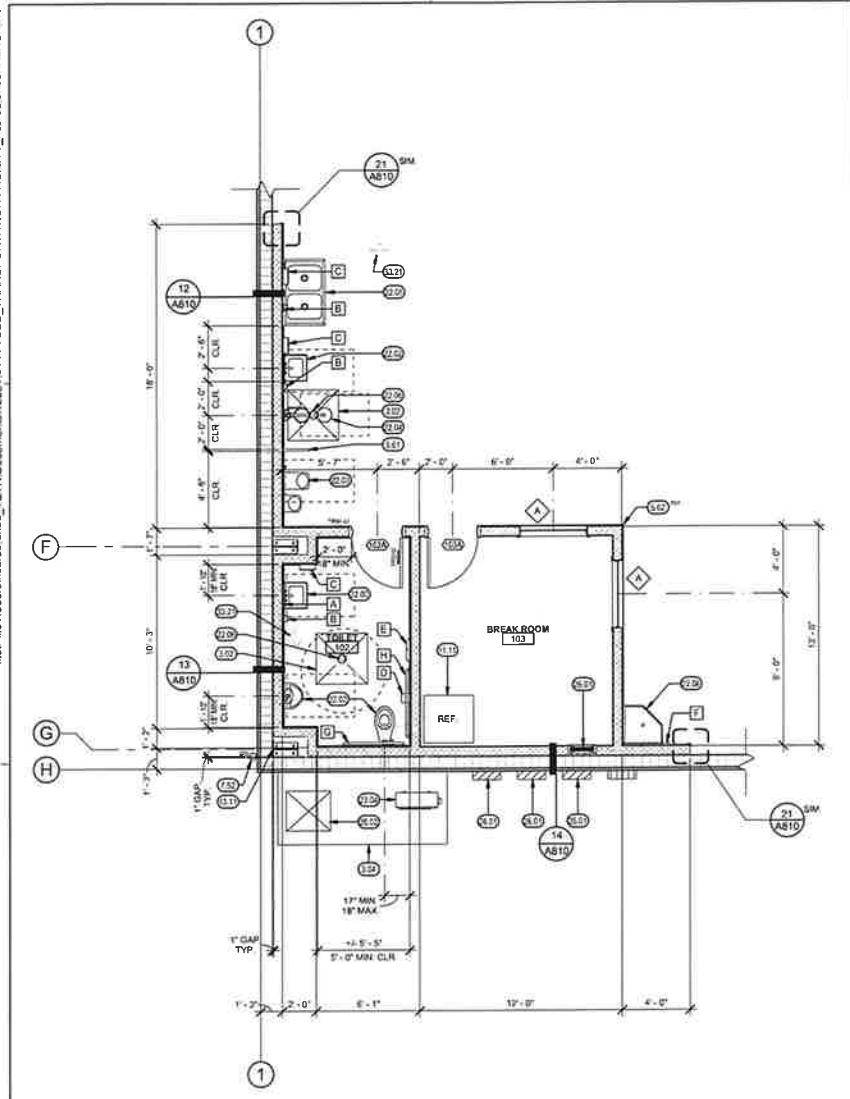
PROJECT NO. 23-12891.01
 DRAWING TITLE: PROPOSED SITE PLAN
 NEW BUS MAINTENANCE FACILITY
 TULARE CITY SCHOOL DISTRICT
 600 N. CHERRY ST.
 TULARE, CA 93274



MARK	DATE	DESCRIPTION
A	10/25/2024	100% CONSTRUCTION DOCUMENTS

Scale: 1" = 20'-0"
 Date: 10/25/2024
 Drawing: A102
 Project: NEW BUS MAINTENANCE FACILITY
 Client: TULARE CITY SCHOOL DISTRICT
 Location: 600 N. CHERRY ST., TULARE, CA 93274

Plot Date: 10/25/2024 11:58:29 AM
 \\file1\Users\carolito.uniba_TET\Documents\12891_01-A-TSD_TRANSPORTATION FACILITY_dcarolito.uniba\NALNCA.rvt
 1/8" = 1'-0"

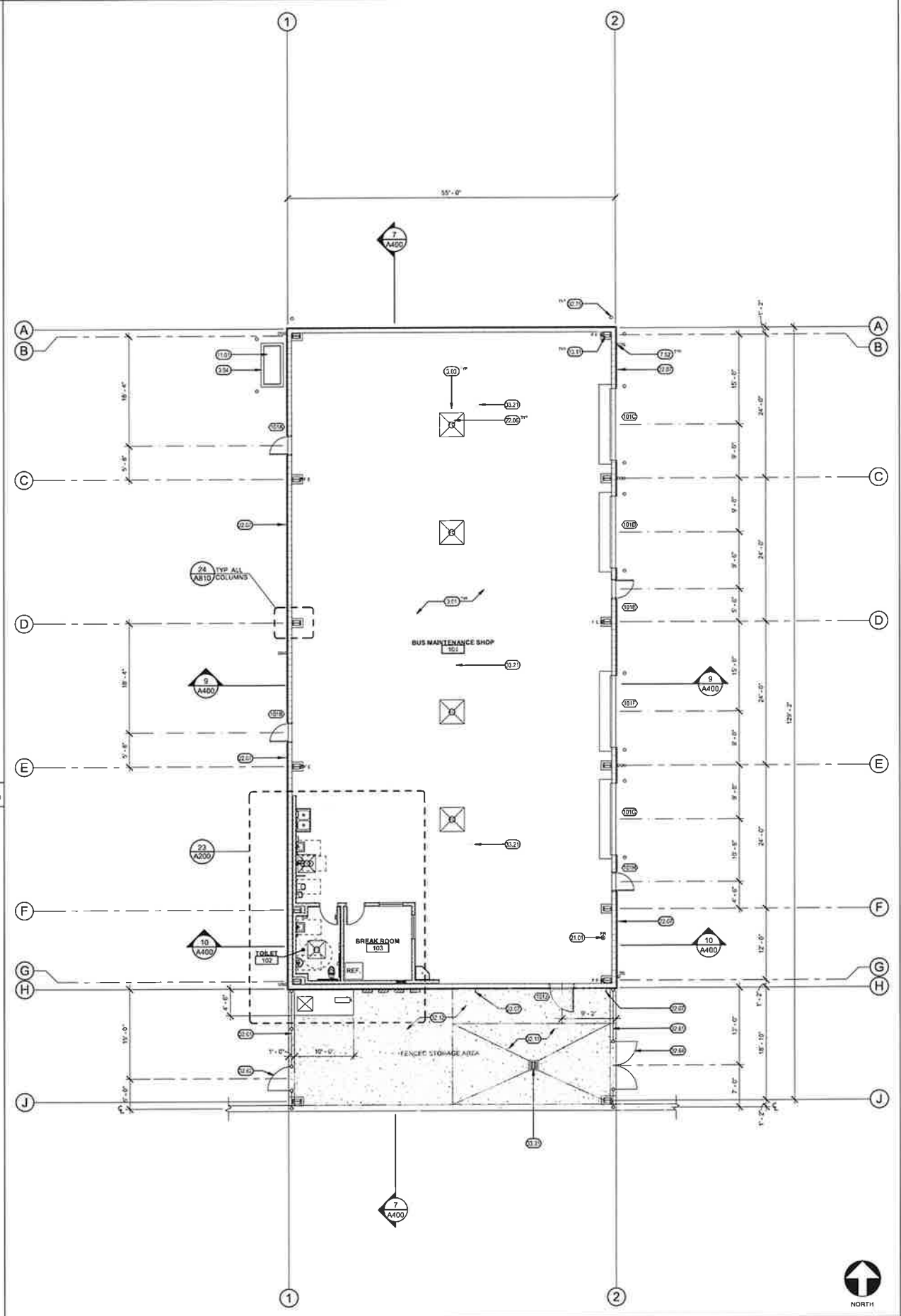


ENLARGED FLOOR PLAN 1/4" = 1'-0" 23

TOILET ACCESSORY SCHEDULE				
MARK	DESCRIPTION	MFR	MODEL NO	REMARKS
A	MIRROR (24" X 36")	GAMCO	A-24X36	SURFACE MTD O.F.C.I.
B	SOAP DISPENSER	BETCO	91821-00	SURFACE MTD O.F.C.I.
C	PAPER TOWEL DISPENSER	CONTINENTAL	991C	SURFACE MTD O.F.C.I.
D	TOILET TISSUE DISPENSER	GAMCO	TTD-5	SURFACE MTD O.F.C.I.
E	TOILET SEAT COVER DISPENSER	SUNNY CARE	W381P-2	SURFACE MTD O.F.C.I.
F	MOP HOLDER	GAMCO	MS-2	36" LONG O.F.C.I.
G	GRAB BAR, REAR	GAMCO	150S, 42"	SURFACE MTD O.F.C.I.
H	GRAB BAR, SIDE	GAMCO	150S, 48"	SURFACE MTD O.F.C.I.

C.F.C.I.: SITE CONTRACTOR FURNISHED, SITE CONTRACTOR INSTALLED
 O.F.C.I.: OWNER FURNISHED, SITE CONTRACTOR INSTALLED

TOILET ACCESSORY SCHEDULE 25



FLOOR PLAN 1/8" = 1'-0" 10

KEYNOTES

- 3.01 CONCRETE SLAB AND FOUNDATION. SEE STRUCTURAL.
- 3.02 SLOPE CONCRETE SLAB TO FLOOR DRAIN 2'X3' SQUARE AREA WITH A MAXIMUM SLOPE OF 1/4" / 12". SEE 25 / A810
- 3.03 SLOPE CONCRETE SLAB TO FLOOR DRAIN 4'X4' SQUARE AREA WITH A MAXIMUM SLOPE OF 1/4" / 12". SEE 25 / A810
- 3.04 CONCRETE SERVICE PAD. SEE STRUCTURAL.
- 5.61 STAINLESS STEEL GUARDRAIL. SEE 9 / A800
- 5.62 METAL CORNER GUARD. SEE 31 / A815
- 7.52 PRE-FINISHED SURFACE MOUNTED DOWNSPOUT TO CONNECT TO STORM DRAIN UNDERGROUND. TYP.
- 11.01 AIR COMPRESSOR. SEE PLUMBING
- 11.11 EQUIPMENT (OWNER FURNISHED, OWNER INSTALLED). TYP.
- 13.11 METAL BUILDING RIGID FRAME. SEE M & M DRAWINGS
- 21.01 FIRE SPRINKLER RISER. SEE FIRE SPRINKLER DRAWINGS
- 22.07 PLUMBING FIXTURE. SEE PLUMBING
- 22.03 HIGH-LOW DRINKING FOUNTAIN. SEE PLUMBING AND 4 / A800
- 22.04 EMERGENCY EYE WASH/SHOWER. SEE PLUMBING
- 22.05 CHEMICAL WASH SINK. SEE PLUMBING
- 22.06 FLOOR DRAIN. SEE PLUMBING
- 22.07 HOSE BIBB. SEE PLUMBING
- 22.08 MOP SINK. SEE PLUMBING
- 23.04 OUTDOOR CONDENSING UNIT ON CONCRETE SERVICE PAD. SEE MECHANICAL
- 26.01 ELECTRICAL EQUIPMENT (PANEL, IDF, AND/OR FACP). SEE ELECTRICAL
- 28.02 TRANSFORMER ON CONCRETE SERVICE PAD. SEE ELECTRICAL
- 32.11 SLOPE CONCRETE FLATWORK TO FLOOR DRAIN. 2% MAXIMUM SLOPE. SEE CIVIL
- 32.12 CONCRETE FLATWORK. SEE CIVIL
- 32.61 CHAIN LINK FENCE. 6'-0" HIGH W/ MOWSTRIP. TYP. SEE 6 / A111
- 32.62 CHAIN LINK MAN GATE. 4'-0" WIDE. SEE 18 / A111
- 32.64 CHAIN LINK DOUBLE GATE. 8'-0" WIDE. SEE 4 / A111
- 32.75 STEEL PIPE BOLLARD FILLED W/ CONCRETE. TYP. SEE 3 / A110
- 33.21 SURFACE CLEAN OUT. SEE CIVIL AND PLUMBING
- 33.31 DRAIN INLET. SEE CIVIL

LEGEND

- INSULATED WALL PANEL SYSTEM
- 6" METAL STUDS @ 16" o.c. TYP.
- 6" METAL BUILDING WALL GRIT. SEE M & M DRAWINGS, TYP.
- MINIMUM 30"x48" WHEELCHAIR CLEAR SPACE
- MINIMUM 60" DIAMETER WHEELCHAIR TURN AROUND SPACE
- WALL AND/OR DOOR SIGNAGE. SEE 23 / A800 AND 19 / A800
- DOOR REFERENCE. SEE DOOR SCHEDULE ON SHEET A700
- WINDOW REFERENCE. SEE WINDOW SCHEDULE ON SHEET A700
- FIRE EXTINGUISHER (2A, 10B, C MIN.) AND MOUNTING BRACKET BY SITE CONTRACTOR. TYP. 15 / A800
- ROOM IDENTIFICATION: ROOM NAME, ROOM NUMBER

GENERAL NOTES

- A. KEYNOTES APPLY TO THIS DRAWING ONLY.
- B. FOR TYPICAL ACCESSIBLE TOILET ROOM FIXTURE MOUNTING HEIGHTS AND CLEARANCES. SEE 2 / A800
- C. ALL DIMENSIONS TO FACE OF STUD OR CENTERLINE OF COLUMN, UNLESS DIMENSIONS WITH "MIN.", "CLR.", OR "ABSOLUTE" ARE MEASURED FROM FACE OF WALL FINISH.
- D. TYP. INTERIOR WALL FINISH FOR STUD WALLS 5/8" TYPE 'C' GYP. BD., WATER RESISTANT TYPE IN RESTROOMS WHERE LOCATED WITHIN 2'-0" OF THE FRONT AND/OR SIDES OF PLUMBING FIXT. GYP. BD. APPLICATION SHALL COMPLY W/ CBC SECTION 2508. GYP. BD. SHALL BE FASTENED TO SUPPORTS W/ SCREWS.
- E. INSULATION NOTES:
 - * EXTERIOR WALLS SHALL BE INSULATED WITH A MINIMUM INSULATING VALUE OF R-19
 - * INTERIOR FRAMED WALLS AND CEILINGS SHALL BE INSULATED WITH BATT INSULATION HAVING A MINIMUM INSULATING VALUE OF R-19
 - * ROOF SHALL BE INSULATED WITH A MINIMUM INSULATING VALUE OF NOT LESS THAN R-30
 - * ALL INSULATION MATERIALS, INCLUDING FACING, SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450
- F. FOR WHEELCHAIR MANEUVERING CLEARANCE AT DOORS. SEE 10 / A701
- G. FOR PLUMBING FIXTURE SCHEDULE. SEE PLUMBING DRAWINGS

MARK	DATE	DESCRIPTION
A	10/25/2024	100% CONSTRUCTION DOCUMENTS



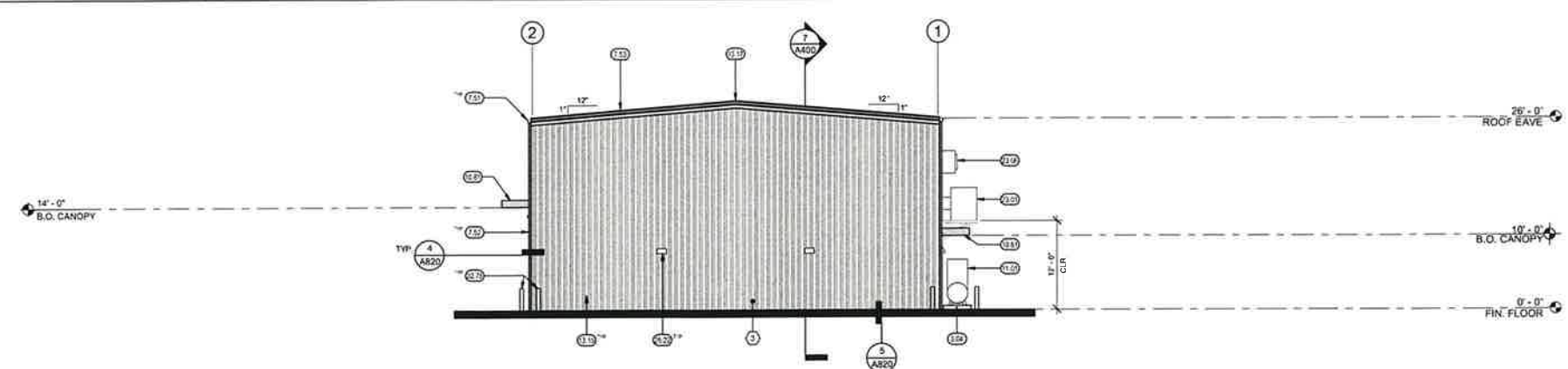
TETER, INC.
 FRESNO HEADQUARTERS
 1500 N. UNIVERSITY BLVD. | SUITE 100 | FRESNO, CA 93705
 ARCHITECTS ENGINEERS CONNECTED



NEW BUS MAINTENANCE FACILITY
 TULARE CITY SCHOOL DISTRICT
 600 N. CHERRY ST.
 TULARE, CA 93274
 DRAWING TITLE: FLOOR PLAN

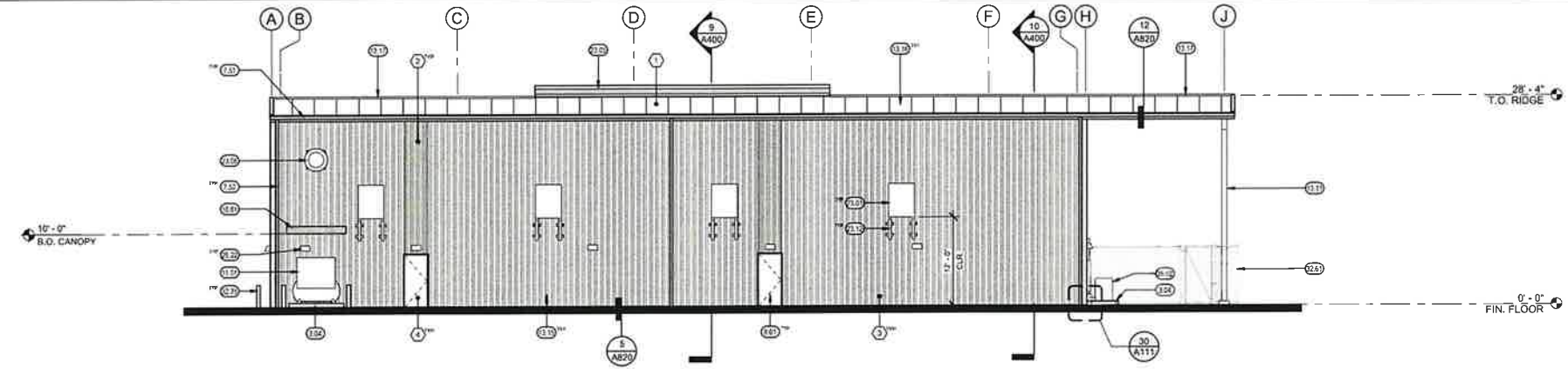
PROJECT NO: 23-12891.01
 DRAWING: A200

I:\projects\10252024\11-09-23 AM\10252024\11-09-23 AM\TETR\Documents\12891_01-A-TCSO_TRANSPORTATION FACILITY - Ricardo.uniba\NCA.rvt
 I:\projects\10252024\11-09-23 AM



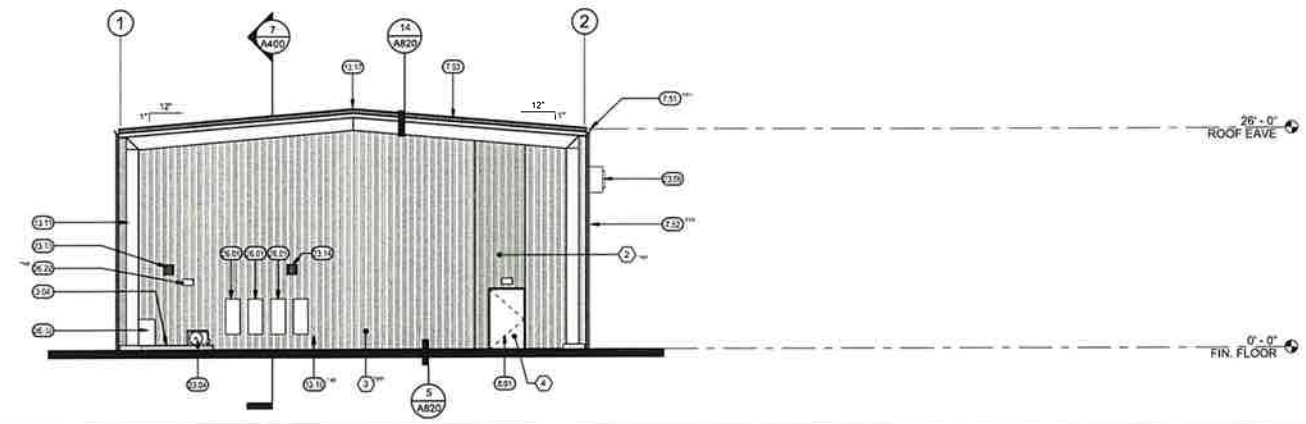
NORTH

1/8" = 1'-0" 6



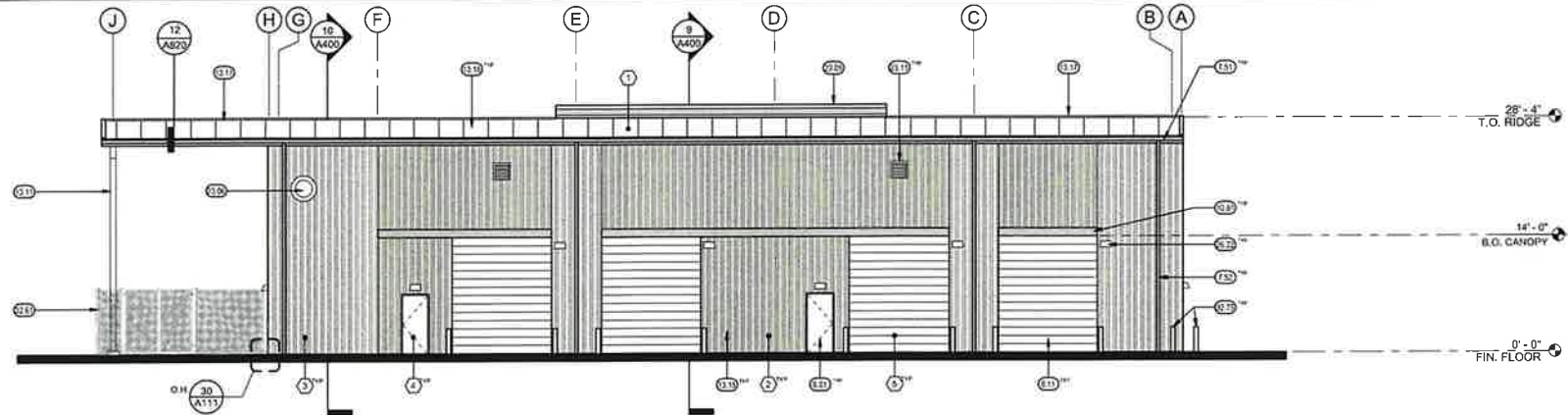
WEST

1/8" = 1'-0" 7



SOUTH

1/8" = 1'-0" 9



EAST

1/8" = 1'-0" 10

KEYNOTES

- 3.04 CONCRETE SERVICE PAD, SEE STRUCTURAL
- 7.51 CONTINUOUS PRE-FINISHED METAL GUTTER, SEE 9 / A820
- 7.52 PRE-FINISHED SURFACE MOUNTED DOWNSPOUT TO CONNECT TO STORM DRAIN UNDERGROUND, TYP.
- 7.53 PRE-FINISHED SHEET METAL FLASHING/TRIM
- 8.01 DOOR AND FRAME AS SCHEDULED, SEE A700
- 8.11 AUTOMATIC OVERHEAD COILING DOOR, SEE DOOR SCHEDULE
- 10.81 CANOPY, SEE 23 / A820
- 11.01 AIR COMPRESSOR, SEE PLUMBING
- 13.11 METAL BUILDING RIGID FRAME, SEE M B M DRAWINGS
- 13.15 INSULATED WALL PANEL SYSTEM
- 13.16 INSULATED METAL ROOF STANDING SEAM PANEL SYSTEM w/ ROOF PURLINS
- 13.17 METAL RIDGE CAP
- 23.01 WALL MOUNTED EVAPORATIVE COOLER, SEE MECHANICAL
- 23.04 OUTDOOR CONDENSING UNIT ON CONCRETE SERVICE PAD, SEE MECHANICAL
- 23.05 CONTINUOUS RIDGE VENT, SEE MECHANICAL
- 23.06 WALL MOUNTED EXHAUST FAN, SEE MECHANICAL
- 23.11 VEHICLE EXHAUST FAN AND FLEXIBLE HOSE, SEE MECHANICAL
- 23.12 MECHANICAL UNIT SUPPORT FRAMING, SEE STRUCTURAL
- 23.13 EXHAUST VENT, SEE MECHANICAL
- 23.14 INTAKE VENT, SEE MECHANICAL
- 26.01 ELECTRICAL EQUIPMENT (PANEL, IDF, AND/OR FACP), SEE ELECTRICAL
- 26.02 TRANSFORMER ON CONCRETE SERVICE PAD, SEE ELECTRICAL
- 28.22 EXTERIOR WALL PACK LIGHTING, SEE ELECTRICAL
- 32.61 CHAIN LINK FENCE, 8'-0" HIGH w/ MOWSTRIP, TYP., SEE 6 / A111
- 32.75 STEEL PIPE BOLLARD FILLED w/ CONCRETE, TYP., SEE 3 / A110

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL	MANUFACTURER (BASIS OF DESIGN)	COLOR	FINISH
①	INSULATED METAL ROOF PANELS	-	TBD	FACTORY FINISH
②	INSULATED VERTICAL WALL PANELS	-	TBD	FACTORY FINISH
③	INSULATED VERTICAL WALL PANELS	-	TBD	FACTORY FINISH
④	HOLLOW METAL DOORS & FRAMES	-	TBD	FACTORY FINISH
⑤	OVERHEAD COILING DOORS & FRAMES	-	TBD	FACTORY FINISH

NOTE:
 PRE-FINISHED ROOF RAKE/EAVE TRIM, METAL GUTTERS, AND CANOPIES TO COLOR MATCH INSULATED METAL ROOF PANELS MARK ①
 PRE-FINISHED DOWNSPOUT TO COLOR MATCH INSULATED VERTICAL WALL PANELS MARK ②
 FINAL COLOR SELECTIONS TO BE MADE BY ARCHITECT

GENERAL NOTES

- A. KEYNOTES APPLY TO THIS DRAWING ONLY.
- B. FOR TRIM FLASHING LAPS AT FRAMED OPENING, SEE 20 / A820
- C. FOR WALL PENETRATION FLASHING, SEE 25 / A820

NEW BUS MAINTENANCE FACILITY
 TULARE CITY SCHOOL DISTRICT
 600 N. CHERRY ST.
 TULARE, CA 93274
 PROJECT NO. 23-12891.01
 DRAWING A300
 EXTERIOR ELEVATIONS

TETER, INC.
 FRESNO HEADQUARTERS
 VISALIA | BAKERSFIELD | MODOSTO | SAN LUIS OBISPO
 ARCHITECTS | ENGINEERS | CONNECTED

10252024 100% CONSTRUCTION DOCUMENTS
 MARK DATE DESCRIPTION
 A 10/25/2024