



-- THIS AREA FOR CITY STAFF USE ONLY --
Date Received: 3/1
SPR Agenda: 3/10 Item No. 1
Zoning: _____ GP Designation: _____

CITY OF TULARE SITE PLAN REVIEW APPLICATION

*This application MUST be filled out in its entirety and submitted with **ten (10) copies** of an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda.*

All plans to be considered on the next available agenda must be submitted by 3:00pm on the Thursday prior to the meeting.

SITE PLAN MEETINGS ARE HELD ON WEDNESDAYS AT 1:30 PM AT TULARE CITY HALL-COMMUNITY ROOM - 411 E KERN AVE - APPLICANT OR REPRESENTATIVE MUST BE PRESENT

GENERAL PROJECT INFORMATION

Project/Business Name: Merced 18, LLC Date: 2/2/2021

Project Description: Vacant lot, subdividing into 3 lots. Future development is unknown.

Site Plan Review Submittal: Yes No If Resubmittal, Previous Site Plan Review No: _____

Property Owner: Merced 18, LLC Applicant(s) Name: Jimone Berookhim

Property Address/Location: NW corner of Mooney and Cross Ave Assessor Parcel No. (APN): 171-280-039

Parcel Size (Acreage or Sq Ft.): 2.83 Building Square Footage: n/a

Describe All Proposed Building Modifications: No building modifications. Site is undeveloped.

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Industrial & Commercial

Existing/Prior Land or Building Use: Retail commercial

Proposed Building or Land Use: Retail commercial

Proposed Hours of Operation: n/a Days of Week in Operation (Circle): Su M T W Th F Sa

Number of Existing Parking Stalls: n/a Number of Proposed New Parking Stalls: n/a

Number of Existing or Anticipated New Employees: n/a Anticipated No. of Trucks/day: n/a

Brief Operational Statement: Application is for a TPM. Vacant lot, subdividing into 3 - 4 lots. Future development is unknown at this time.

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Residential

Is the project: New construction Remodel

Single-Family Residential Multi-Family Residential

Number of dwelling units: n/a Total of area (in square feet): n/a

Total lot coverage of buildings or structures (in square feet): n/a Percentage of lot coverage n/a %

Proposed project phasing: Yes No If yes, proposed number of phases: n/a

SITE PLAN MINIMUM REQUIREMENTS

The Applicant shall submit **ten (10) copies** of the proposed site plan along with this completed Application to the Office of Community & Economic Development. Suggested minimum sheet size for site plans is 11"x17" folded to a legal size of 9"x12" with the print on the outside. No rolled plans accepted. (Excludes tentative and parcel maps)

The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information: (*Municipal Code Section 10.120.040*)

- | | |
|--|--|
| <input checked="" type="checkbox"/> Address | <input checked="" type="checkbox"/> Location and width of drive approaches |
| <input checked="" type="checkbox"/> Assessor's parcel number | <input checked="" type="checkbox"/> Method of on-site drainage |
| <input checked="" type="checkbox"/> Vicinity map on cover sheet | <input checked="" type="checkbox"/> Location of existing and/or proposed public improvements |
| <input checked="" type="checkbox"/> Scale and north arrow | <input checked="" type="checkbox"/> Method of sanitary disposal |
| <input checked="" type="checkbox"/> Dimensions of property | <input checked="" type="checkbox"/> Location and wide of drive approaches to site |
| <input checked="" type="checkbox"/> Existing and proposed structures showing distances from Property lines | <input checked="" type="checkbox"/> Adjacent street names |
| <input checked="" type="checkbox"/> Location and height of proposed fences, walls | <input checked="" type="checkbox"/> Existing and proposed landscaping |
| <input checked="" type="checkbox"/> Existing and proposed parking stalls (include ADA) | <input checked="" type="checkbox"/> Location of signs and size |
| | <input checked="" type="checkbox"/> Elevations if required by City Planner |

Failure to provide all requested information may result in your application being rejected and excluded from the Site Plan Review agenda

Applicant Information (Final Comments will be mailed to the name and address provided below.)

*If signed by an authorized agent, an "Agency Authorization" must be completed for this application to be considered complete.

Name: Hal Lore, PE
 Address: 620 DeWitt Avenue #101
 City, State, Zip: Clovis, CA 93612
 Phone: 559-297-5200
 E-Mail: hal@lore-engineering.com

Signature of Owner or Authorized Agent*

 Owner _____ Date 2/11/21
 Authorized Agent* _____ Date _____

-THIS AREA FOR CITY STAFF USE ONLY-

APPLICATION DEEMED COMPLETE

By: _____

Date: _____

TENTATIVE PARCEL MAP 2021-XX

FOR SUBDIVISION PURPOSES
IN THE CITY OF TULARE, COUNTY OF KERN STATE OF CALIFORNIA

EXISTING ZONING	RETAIL COMMERCIAL
PLANNED LAND USE	RETAIL COMMERCIAL
PROPOSED ZONING	RETAIL COMMERCIAL
SOURCE OF WATER	CITY OF TULARE
SOURCE OF SEWER DISPOSAL	CITY OF TULARE
STORM DRAINAGE	CITY OF TULARE
GROSS ACREAGE	2.77 AC
NET ACREAGE	2.72 AC
PRIOR PLANNING ENTITLEMENT	N/A
PARCEL NUMBER/APN	171-280-019-000

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF TULARE, COUNTY OF TULARE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 30 SOUTH, RANGE 24 EAST, MOUNT Diablo BASE AND MERIDIAN, IN THE CITY OF TULARE, COUNTY OF TULARE, STATE OF CALIFORNIA DESCRIBED AS PARCEL 1 OF PARCEL MAP 4477, RECORDED IN BOOK 45, PAGE 82 OF PARCEL MAPS, TULARE COUNTY, RECORDED ON JANUARY 12, 2001.

EXCEPTING THEREFROM THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 4477, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 1; THENCE NORTH 00°01'29" WEST, ALONG THE WEST LINE OF PARCEL 1, A DISTANCE OF 400.00 FEET; THENCE NORTH 89°58'51" EAST, ALONG THE NORTH LINE OF PARCEL 1, A DISTANCE OF 218.00 FEET; THENCE SOUTH 00°01'29" EAST, A DISTANCE OF 400.00 FEET TO A POINT ON THE SOUTH LINE OF PARCEL 1; THENCE SOUTH 89°58'51" WEST, ALONG THE SOUTH LINE OF PARCEL 1, A DISTANCE OF 218.00 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION DEED TO THE CITY OF TULARE, IN DOCUMENT RECORDED AUGUST 17, 2009 AS INSTRUMENT NO. 2009-060789 OF OFFICIAL RECORDS.

APPLICANT/SUBDIVIDER	RECORD OWNER	ENGINEER
MERCED 18, LLC (MERCED BROOKING) 133 S. SWALL DRIVE BEVERLY HILLS, CA 90211	MERCED 18, LLC (MERCED BROOKING) 133 S. SWALL DRIVE BEVERLY HILLS, CA 90211	HAL LORE, PE LORE ENGINEERING, INC. 670 DENWIT AVENUE, SUITE 101 CLAYTON, CA 93612 (559) 237-5230 EXT. 1

NOTES

- PROPOSED SEWER, WATER, GAS, STORM DRAINAGE, CONCRETE CURBS, GUTTERS, AND SIDEWALKS, STREET LIGHTS, AND STREET IMPROVEMENTS TO BE INSTALLED PER CITY OF TULARE STANDARD PLANS AND SPECIFICATIONS.
- THERE ARE NO EXISTING OVERHEAD UTILITIES OR EXISTING TREES ALONG PUBLIC RIGHTS OF WAY WITHIN THE FRONTAGE LIMITS OF THIS MAP.
- THERE ARE NO GRADE DIFFERENTIALS OF 6" OR MORE LOCATED AT PROPERTY LINES WITHIN THE LIMITS OF THIS MAP.
- THERE ARE EXISTING PRIVATE WELLS WITHIN THE LIMITS OF THIS MAP.
- THERE ARE NO ON-SITE EXISTING TREES WITHIN THE BOUNDARY OF THIS MAP.
- THIS MAP IS SUBJECT TO THE TERMS AND PROVISIONS OF THE DOCUMENT ENTITLED "AGREEMENT FOR EASEMENT AND MUTUAL RESTRICTIVE COVENANTS" DATED JULY 7, 2006 AS DOCUMENT NO. 2006012568 OF R.P.

LEGEND - EXISTING

NOTE: NOT ALL EXISTING SYMBOLS IN PLANS MAY BE SHOWN HERE

EX WATER MAIN & PIPE SIZE	EX STORM DRAIN MANHOLE
EX SANITARY SEWER & PIPE SIZE	EX SEWER MANHOLE
EX STORM DRAIN & PIPE SIZE	EX UTILITY POLE
EX BURIED COMMUNICATION LINE	EX BURIED TELEPHONE LINE
EX BURIED ELECTRICAL LINE	EX BURIED GAS PIPE
EX BURIED IRRIGATION & PRE SIZE	EX OVERHEAD UTILITY
EX BURIED FIBER OPTICS	EX UNDERGROUND UTILITY TYPE
EX STREET LIGHT CONDUIT	EX GAS METER
EX SEWER CLEANOUT	EX SIGAUGE
EX TELEPHONE PEDIESTAL/BOX	EX ELECTRICAL PULL BOX
EX ELECTRICAL VAULT	EX ELECTRICAL PAD MOUNTED
EX GUY WIRE	EX STREET LIGHT
EX STREET LIGHT	EX STREET LIGHT ON WOOD POLE
EX POLE LIGHT	

MAPPING LEGEND

	PARCEL PROPERTY BOUNDARY
	STREET R/W
	CENTERLINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	DIRECTION OF SURFACE FLOW

PROJECT

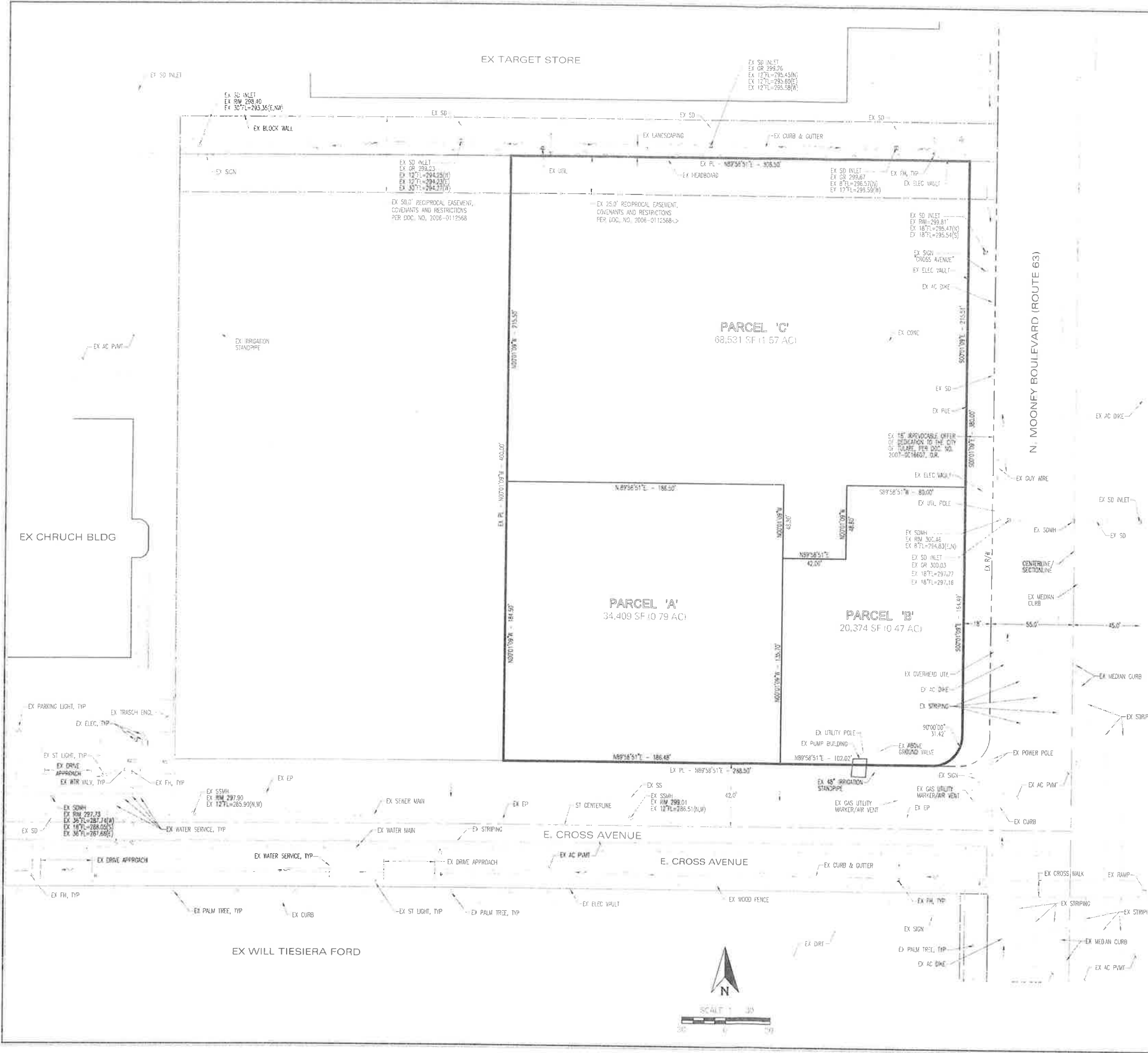


TENTATIVE PARCEL MAP

NWC OF MOONEY BLVD. AND CROSS AVENUE
TULARE, CALIFORNIA 93274

LORE ENGINEERING, INC.

TPM-1



TOWN: D:\PROJECTS\2021\TPM-1\Drawings\Plan\Map-01.dwg USER: TULDATE: 03/28/2021 4:49pm

Community & Economic Development Department Fee: \$0.00
411 East Kern Avenue
Tulare, CA 93274
(559) 684.4217 Fax (559) 685.2339

Site Plan Review Application No. 21-21



-- THIS AREA FOR CITY STAFF USE ONLY --
Date Received: 3/1
SPR Agenda: 3/10 Item No. 2
Zoning: _____ GP Designation: _____

CITY OF TULARE SITE PLAN REVIEW APPLICATION

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GENERAL PROJECT INFORMATION

Project/Business Name: _____ Date: 3/1/2021
Project Description: 216 Unit Multi-Family Residential Development

Site Plan Review Submittal: Yes No If Resubmittal, Previous Site Plan Review No: _____

Property Owner: Tony Salierno Applicant(s) Name: M. Giorgio Russo
Property Address/Location: NEC Corvina/Retherford Assessor Parcel No. (APN): 166-230-007
Parcel Size (Acreage or Sq Ft.): 16.57-acres Building Square Footage: _____

Describe All Proposed Building Modifications: _____

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Industrial & Commercial

Existing/Prior Land or Building Use: _____
Proposed Building or Land Use: _____
Proposed Hours of Operation: _____ Days of Week in Operation (Circle): Su M T W Th F Sa
Number of Existing Parking Stalls: _____ Number of Proposed New Parking Stalls: _____
Number of Existing or Anticipated New Employees: _____ Anticipated No. of Trucks/day: _____
Brief Operational Statement: _____

Page 1 of 2 – Application continues on the back of this page

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Residential

Is the project: New construction Remodel

Single-Family Residential Multi-Family Residential

Number of dwelling units: 216 Total of area (in square feet): _____

Total lot coverage of buildings or structures (in square feet): _____ Percentage of lot coverage _____%

Proposed project phasing: Yes No If yes, proposed number of phases: _____

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Applicant Information (Final Comments will be mailed to the name and address provided below.)

***If signed by an authorized agent, an "Agency Authorization" must be completed for this application to be considered complete.**

Name: Austin Ewell

Address: _____

City, State, Zip: _____

Phone: _____

E-Mail: austin@ewellgroup.com

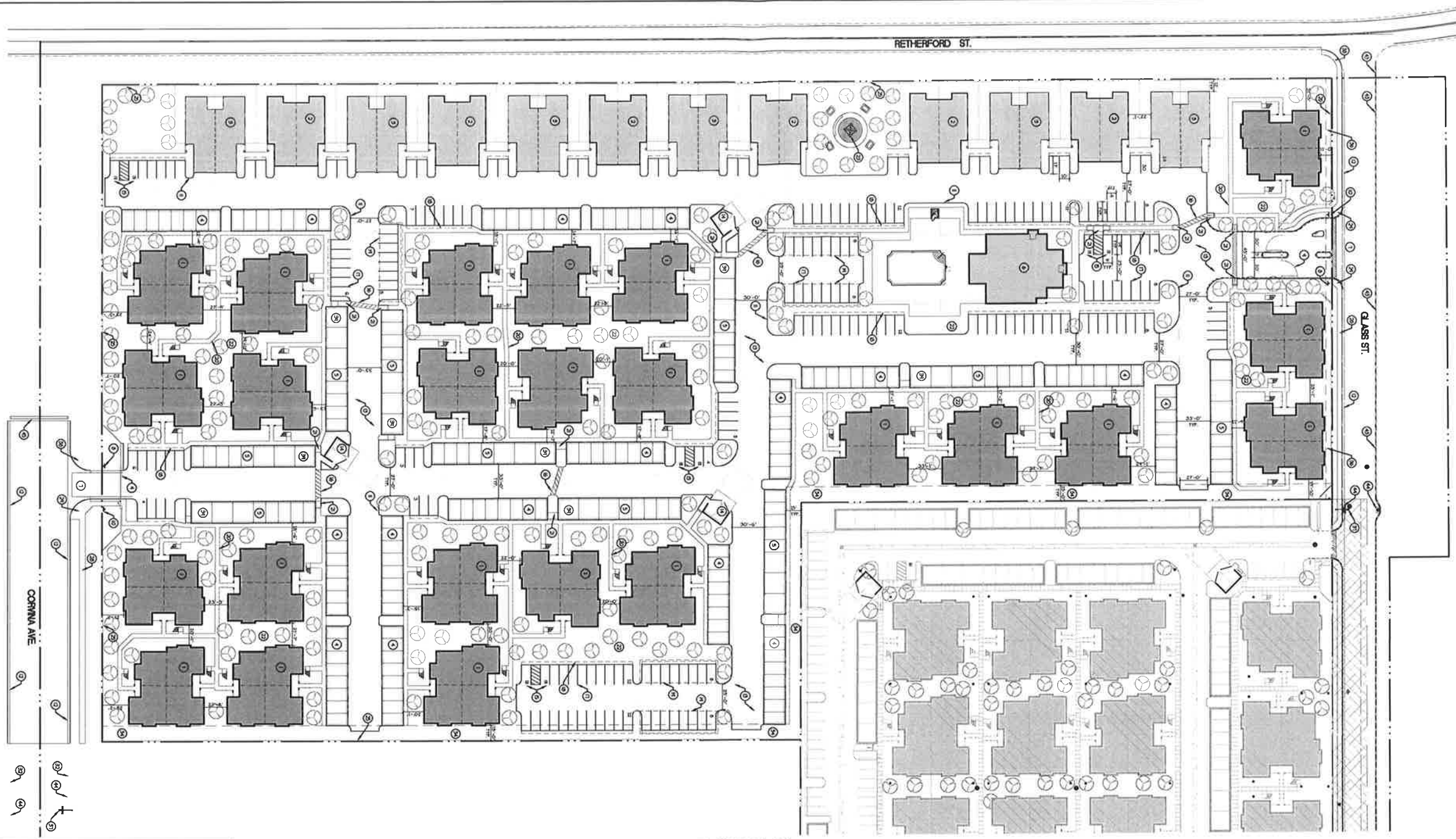
Signature of Owner or Authorized Agent*	
_____	_____
Owner	Date
_____	_____
Authorized Agent*	Date

-THIS AREA FOR CITY STAFF USE ONLY-

APPLICATION DEEMED COMPLETE

By: _____

Date: _____



RETHERFORD ST.

CORNUA AVE.

HILLMAN ST.

SITE PLAN
SCALE: 1"=40'-0"

Site Plan Notes

- ANY SURVEY POINTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- THE REQUIRED 4' MINIMUM PATH OF TRAVEL SHALL BE PROVIDED ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 20). A PEDSTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
- ALL GATES OR COMMON ACCESS DRIVES SHALL BE EQUIPPED WITH APPROVED POLYESTER STRIPES, LIGHTS, SIGNAGE, PAVEMENT MARKINGS OR OTHER LIGHT SIGNALS.
- HYDRANTS ARE NOTED ON PLANS. PROVIDE FIRE HYDRANT FLOW OF 1000 GPM WITH A MIN. 6" WATER MAIN.
- TWO YEARS OF INGRESS/EGRESS MUST BE PROVIDED. THIS ACCESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERUPTION IF THE ROAD DIVISION DEEMES NECESSARY FOR THE APPROXIMATE DUE TO RAIN OR OTHER OBSTACLES. ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED ALL WEATHER SURFACE CAPABLE OF SUPPORTING 8000 LB. VEHICLES. PER 4" BASE COURSE OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERED PLANS) YEAR ROUND AND WITH 24 FOOT MIN. WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
- PROVIDE SIGNS TO IDENTIFY ALL PUBLIC ACCESS DRIVES TO THE PROPERTY. SIGNAGE SHALL BE PLACED AT THE ENTRANCE TO THE PROPERTY. SIGNAGE SHALL BE REMOVED AT OWNER'S EXPENSE-25500 CALIFORNIA VEHICLE CODE-TULARE POLICE DEPARTMENT 734-016.
- STREETS DESIGNATED ON THE PLAN SHALL BE IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1. DESIGNATE HIGHLIGHTED CURBS AS FIRE LANES. FIRE LANES ARE REPRESENTED AS ON THE PLANS.
- VERTICAL CLEARANCE AT ACCESSIBLE PARKING SPACES WITH PARKING FACILITIES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2" FROM THE FLOOR TO THE LOWEST PROJECTION OF THE CEILING.
- EXISTING ACCESSIBLE ROUTES OVER 200 FEET IN LENGTH WITH A CLEAR WIDTH OF LESS THAN 60 INCHES SHALL PROVIDE PARKING SPACES AT INTERSECTION. INTERSECTION PARKING SPACES SHALL BE EITHER A SPACE 60 INCHES WIDE BY 80 INCHES DEEP, OR AN INTERSECTION OF TWO WALKING SURFACES PROVIDING A T' SHAPE SPACE.
- ALL GARAGES TO BE PRE-WIRED FOR SOLAR PANELS.

Keyed Notes

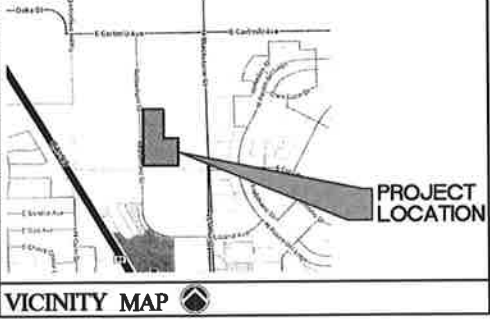
- NEW 1400 Sq.Ft. 1-STORY APARTMENT BUILDING - (4,744 Sq.Ft. FOOTPRINT INCLUDING LIVING AREA, PATIOS + COVERED ENTRY)
- NEW BUILDING TYPE 2 - 2,562 Sq.Ft. 1-STORY 2 BEDROOM 1 1/2 BATH DUPLEX APARTMENT BUILDING (SEE PLAN FOR EXTERIOR ELEVATION OPTION)
- NEW BUILDING TYPE 3 - 3,300 Sq.Ft. 1-STORY 3 BEDROOMS 2 BATH DUPLEX APARTMENT BUILDING (SEE PLAN FOR EXTERIOR ELEVATION OPTION)
- NEW 2,022 Sq.Ft. 1-STORY 0 CAR GARAGE BUILDING TYPE 'G-1'
- NEW 2,524 Sq.Ft. 1-STORY 11 CAR GARAGE BUILDING TYPE 'G-2'
- NEW 1-STORY CLOTHESLINE BUILDING NO. 1 TYPE 'H' - (4,750 Sq.Ft. FOOTPRINT INCLUDES COVERED PATIO)
- NEW COMMERCIAL DRIVEWAY APPROACH PER CITY OF TULARE STD 2314
- INSTALL 30" SQUARE STANDARD "STOP" SIGNS AT LOCATIONS(S) SHOWN. SIGN SHALL BE MOUNTED ON A 2" GALV POST WITH THE BOTTOM OF THE SIGN 7" ABOVE GROUND. LOCATED BEHIND CURB AND BEHIND STREET SIDEWALK. LOCATE ON PRIVATE PROPERTY.
- NEW SECURITY GATE W/REINFORCED CONCRETE
- NEW SITE ENTRANCE SIGN OVERHANGING UNAUTHORIZED VEHICLE PARKING PER CGC DIV. 2 SITE ACCESSIBILITY STANDARDS (SEC. 105-500.6)
- NEW 6" CONCRETE CURB PER CITY OF TULARE STD. 4010.
- NEW 6" CONC. CURB + GUTTER PER CITY OF TULARE STD. 4010.
- NEW A.C. PAVING PER SOILS REPORT + CITY OF TULARE DESIGN GUIDELINES SECTION D OR WHICH EVER IS MOST STRINGENT.
- NEW TRASH ENCLOSURE - PER CITY OF TULARE STD. "TRASH" 1056. SEE DETAIL 4-24-22
- NEW ACCESSIBLE PARKING SHALL WITH DESIGNATED INCLUDING ZONE AND ACCESSIBLE RAMP WITH SIGNAGE PER CGC DIV. 2 SITE ACCESSIBILITY STANDARDS (SEC. 105-406 + 105-502)
- NEW 4" WIDE CROSSWALK WITH 4" WIDE SHOULDER - AT 30' OC
- NEW WHITE PAINT PARKING STOPPING TYP.
- MIN. OF 36" VEHICLE OVERHANG NOTHING OVER 6" IN HEIGHT IN THIS AREA. (TYPICAL)
- NEW PRE-ENGINEERED COVERED PARKING CANOPY.
- NEW CONC. WALK WITH LOCKED CONTROL JOINTS AND EXPANSION JOINTS AND BROOK FINISH (7'-0") MIN. WALK WHEN ADJ. TO PARKING TYP.
- NEW CURB RAMP.
- NEW LANDSCAPE AREA.
- NEW PRE-MANUFACTURED PLAY SET. (UNDER SEPARATE PERMIT.)
- NEW 6" CONCRETE CURB PER CITY OF TULARE STD. 4010.
- NEW 6'-0" HIGH MASONRY BLOCK FENCE SEE CIVL DRAWINGS FOR ADDITIONAL.
- NEW FIRE HYDRANT.
- NEW STREET LIGHT PER CITY OF TULARE PW 510.
- NEW CONC. WALK PER CITY OF TULARE STD. 4410.
- NEW CURB RAMP PER CITY OF TULARE STD. 4120.
- NEW STREET TREE PER CITY OF TULARE STD.
- NEW FIRE HYDRANT PER CITY OF TULARE STD. 6330, 6330 + 6330.
- EXISTING CURB + GUTTER TO REMAIN + COMPLY W/ CITY OF TULARE STD. 4010.
- NEW CURB RAMP PER CGC DIV. 2 EXTERIOR FACILITIES (SEC. 1012A + 1014A)
- EXISTING 10' WIDE TULARE WILSONVILLE DISTRICT EASEMENT
- EXISTING 6' WIDE PUBLIC UTILITY EASEMENT
- NEW 6" WIDE PUBLIC UTILITY EASEMENT
- EXISTING STREET LIGHT TO REMAIN
- FUTURE (SEE OTHERS) CURB RAMP PER CITY OF TULARE STD. 4120.
- LOCATION OF ACCESSIBLE GARAGE UNIT.
- NEW 6" WIDE CONCRETE VALLEY GUTTER
- NEW 10" DIAMETER SEWER MAINLINE
- NEW TEMPORARY A.C. CURB (SEE CIVL DWG'S)
- EXISTING STORM DRAIN RILEY
- NEW BARRICADE PER CITY OF TULARE STANDARDS.

Site Area Breakdown

DESCRIPTION	AREA / NO.
GENERAL PLAN LAND USE/ZONING	
SITE	14.87 ACRES OR 642,144 Sq.Ft.
BLDG.-24 APT., 24 GAR., 12 DUP., 1 CLUB	215,414 Sq.Ft.
LANDSCAPE ON-SITE	232,470 Sq.Ft.
LANDSCAPE OFF-SITE	
A.C. PAVING ON-SITE	155,115 Sq.Ft.
HARDSCAPE (WALKS & S.O.G.) ON-SITE	36,368 Sq.Ft.
HARDSCAPE (WALKS & PATIO) OFF-SITE	
UNITS	216
GARAGE PARKING	262 Spaces
COVERED PARKING	
OPEN PARKING	214 Spaces
REQUIRED PARKING	
(12) 3 BDR. + 2 + 1 GUEST PER 3 SPCS.	28 Spaces
(150) 2 BDR. + 2 + 1 GUEST PER 3 SPCS.	343 Spaces
(48) 1 BDR. + 1.5 + 1 GUEST PER 5 SPCS.	82 Spaces
TOTAL REQUIRED PARKING	453 Spaces
TOTAL PARKING	476 Spaces

LEGEND:

- INDICATES PROPERTY LINES
- INDICATES EASEMENTS
- INDICATES CENTER LINE
- 24" WIDE DEDICATION FOR STREET EASEMENT/VAGATION



JEFF CAZALY ARCHITECT
700 W. ALLIANCE BLVD. SUITE 200
TULARE, CA 95321
TEL: (559) 291-1889
FAX: (559) 291-1882
jeff@cazalycollaborative.com

PROJECT: **NEW DEVELOPMENT FOR: CORVINA APARTMENTS HILLMAN STREET**
CITY OF TULARE
CALIFORNIA
APN. 166-230-005

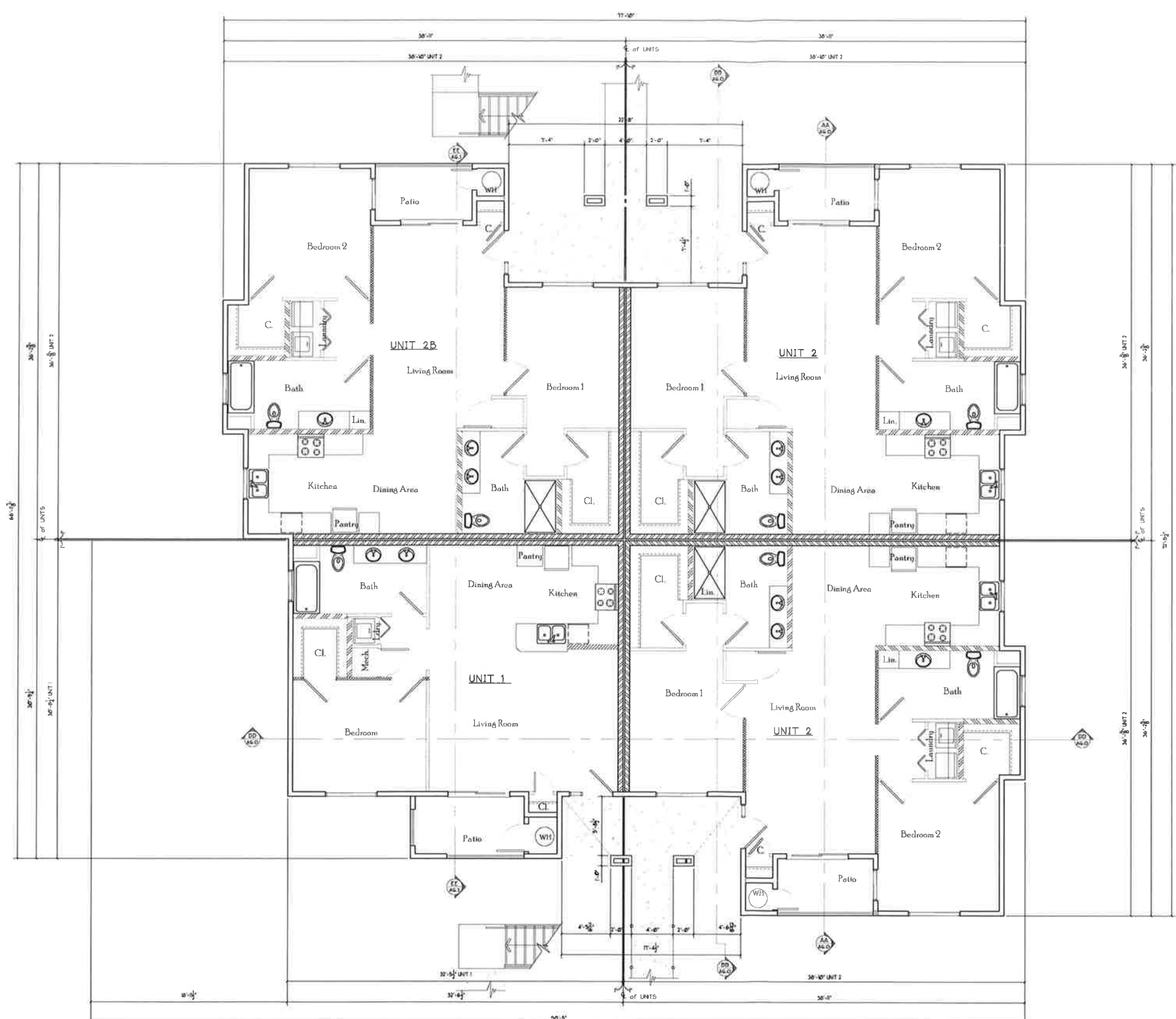
ARCHITECTURAL SITE PLAN

- REVISED:
- ▲
 - ▲
 - ▲
 - ▲
 - ▲

JOB NUMBER: **2020_022**



Scale: **A0.1**
Date: 6-1-24
Sheet: 1 of 1



BUILDING TYPE 1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

BUILDING PLAN KEYNOTES

1. INDICATES LOCATION OF TYPE 2A100-C HALL MOUNTED FIRE EXTINGUISHER (48" FROM FLOOR TO TOP OF FIRE EXTINGUISHER)

BUILDING PLAN NOTES

- NOTES:
- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS AT LEAST ONE OPERABLE SHALL COMPLY WITH SECTION 10304.4 (CONTROLS AND OPERATING MECHANISMS).
 - CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE GLP.
 - OPERATION - OPERATING CONTROLS AND MECHANISMS SHALL OPERATE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRIPPING, PUNCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
 - WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50. SECTION 1201.2 + 1201.3.
 - AN ACCESSIBLE ROUTE SHALL BE PROVIDED THROUGH ALL ROOMS AND SPACES OF THE DWELLING UNIT. ACCESS DOORS TO ALL ROOMS SHALL BE 30" CLEAR OPENING. ALL GROUND- FLOOR DWELLING UNITS IN NON ELEVATOR BUILDINGS SHALL BE ADAPTABLE.
 - OPEN RISERS ARE NOT PERMITTED ON EXTERIOR STAIRS.
 - EXTERIOR STAIRS SERVING BUILDINGS ON A SITE CONTAINING MULTIFAMILY DWELLINGS SHALL HAVE THE UPPER APPROACH AND ALL TREADS PAIRED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST.
 - GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUND PER LINEAR FOOT AND ALSO BE DESIGNED TO RESIST A CONCENTRATED FORCE OF 200 POUNDS.
 - GUARDRAILS SHALL BE 42" HIGH AND SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

FIRE PREVENTION NOTES

- OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION COVER THE CRACKETS FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS WITH 20 OR MORE SPRINKLER HEADS-2013 CFC, SECTION 903.4. INSTALLATIONS MUST ALSO COMPLY WITH FPD POLICY SECTIONS 405 - 407. FPD POLICES CAN BE FOUND ON THE FIRE DEPT. WEBSITE UNDER COMPLIANT AND PROFESSIONAL SERVICES FIRE DEPT. POLICES.
- THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF "CRACKETS" (WHERE APPLICABLE)
- APPROVAL OF FIRE SPRINKLER RISER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION. ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- PROVIDE A MINIMUM 16 IN X 24 IN ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL APARTMENT BUILDINGS.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5' OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED INDICATING CONTROL VALVE

JEFF CAZALY ARCHITECT
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 TULARE, CA 93274
 COMMERCIAL AND INDUSTRIAL DESIGN
 Tel: (559) 291-1889
 Fax: (559) 231-1022
 jeffcazalyarchitect.com

PROJECT:
NEW DEVELOPMENT FOR:
CORVINA APARTMENTS
GLASS AVE & HEREFORD ST.
CITY OF TULARE **APN: 166-230-005** **CALIFORNIA**

CONTRACT:

BEST COPY AVAILABLE
BUILDING TYPE 1
FIRST FLOOR PLAN

REVISION:

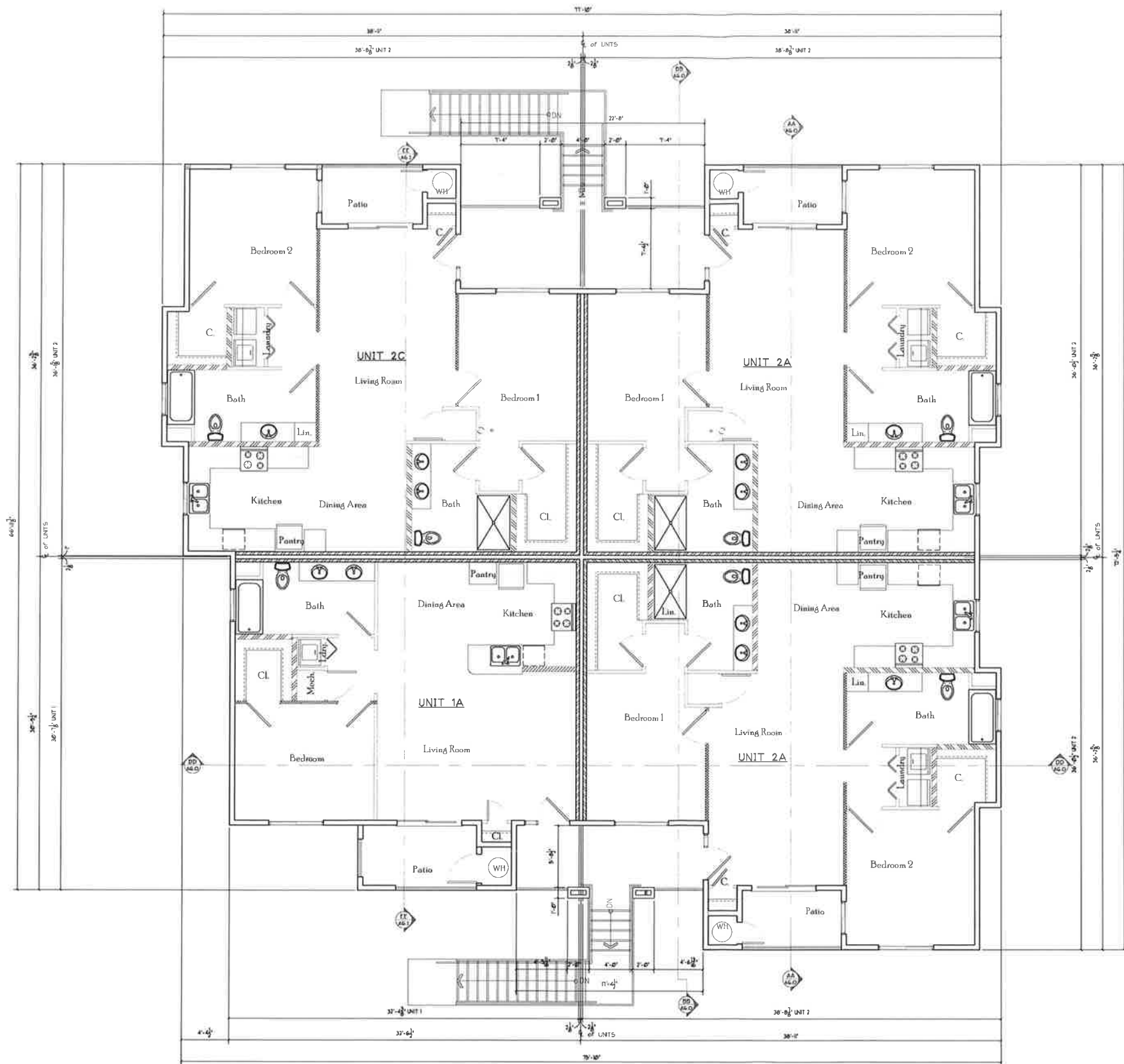
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FOR NUMBER: 2020_022

APPROVED ARCHITECT
 JEFF A. CAZALY
 No. C-28480
 EXPIRES DATE
 8-31-21
 STATE OF CALIFORNIA

Prepared by:	Auto. As Noted
Checked by:	SGP
Reviewed by:	JAC
Date:	4-21

A3.0



BUILDING TYPE 1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

BUILDING PLAN KEYNOTES

□ INDICATED LOCATION OF TYPE 2A/IBS WALL MOUNTED FIRE EXTINGUISHER (40" FROM FLOOR TO TOP OF FIRE EXTINGUISHER)

BUILDING PLAN NOTES

- NOTES:
- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS, AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 1108.4 (CONTROLS AND OPERATING MECHANISMS).
 - CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE GRIP.
 - OPERATION - OPERATING CONTROLS AND MECHANISMS SHALL OPERATE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRIPPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
 - WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50. SECTION 1207.2.4 1207.3.
 - AN ACCESSIBLE ROUTE SHALL BE PROVIDED THROUGH ALL ROOMS AND SPACES OF THE DWELLING UNIT. ACCESS DOORS TO ALL ROOMS SHALL BE 32" CLEAR OPENING. ALL GROUND-FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE.
 - OPEN RISERS ARE NOT PERMITTED ON EXTERIOR STAIRS.
 - EXTERIOR STAIRS SERVING BUILDINGS ON A SITE CONTAINING MULTIFAMILY DWELLINGS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST.
 - GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT AND ALSO BE DESIGNED TO RESIST A CONCENTRATED FORCE OF 200 POUNDS.
 - GUARDRAILS SHALL BE 42" MINIMUM HEIGHT AND SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

FIRE PREVENTION NOTES

- OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION COVER THE COSTS FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS WITH 20 OR MORE SPRINKLER HEADS-2013 CFC SECTION 903.4. INSTALLATIONS MUST ALSO COMPLY WITH FPD POLICY SECTIONS 405 - 407. FPD POLICIES CAN BE FOUND ON THE FIRE DEPT. WEBSITE UNDER COMPLIANT AND PROFESSIONAL SERVICES. FIRE DEPT. POLICES.
- THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF "CRACKETS" (WHERE APPLICABLE).
- APPROVAL OF FIRE SPRINKLER RISER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- PROVIDE A MINIMUM 16 IN. X 24 IN. ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL APARTMENT BUILDINGS.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5' OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED INDICATING CONTROL VALVE.

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ARCHITECT
REGISTERED ARCHITECT
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PROJECT:
NEW DEVELOPMENT FOR:
CORVINA APARTMENTS
GLASS AVE & HEREFORD ST.
CITY OF TULARE **APN 166-230-005** **CALIFORNIA**

CONTRACT:

PROJECT CONTROLS:
BUILDING TYPE 1 SECOND FLOOR PLAN

REVISIONS:

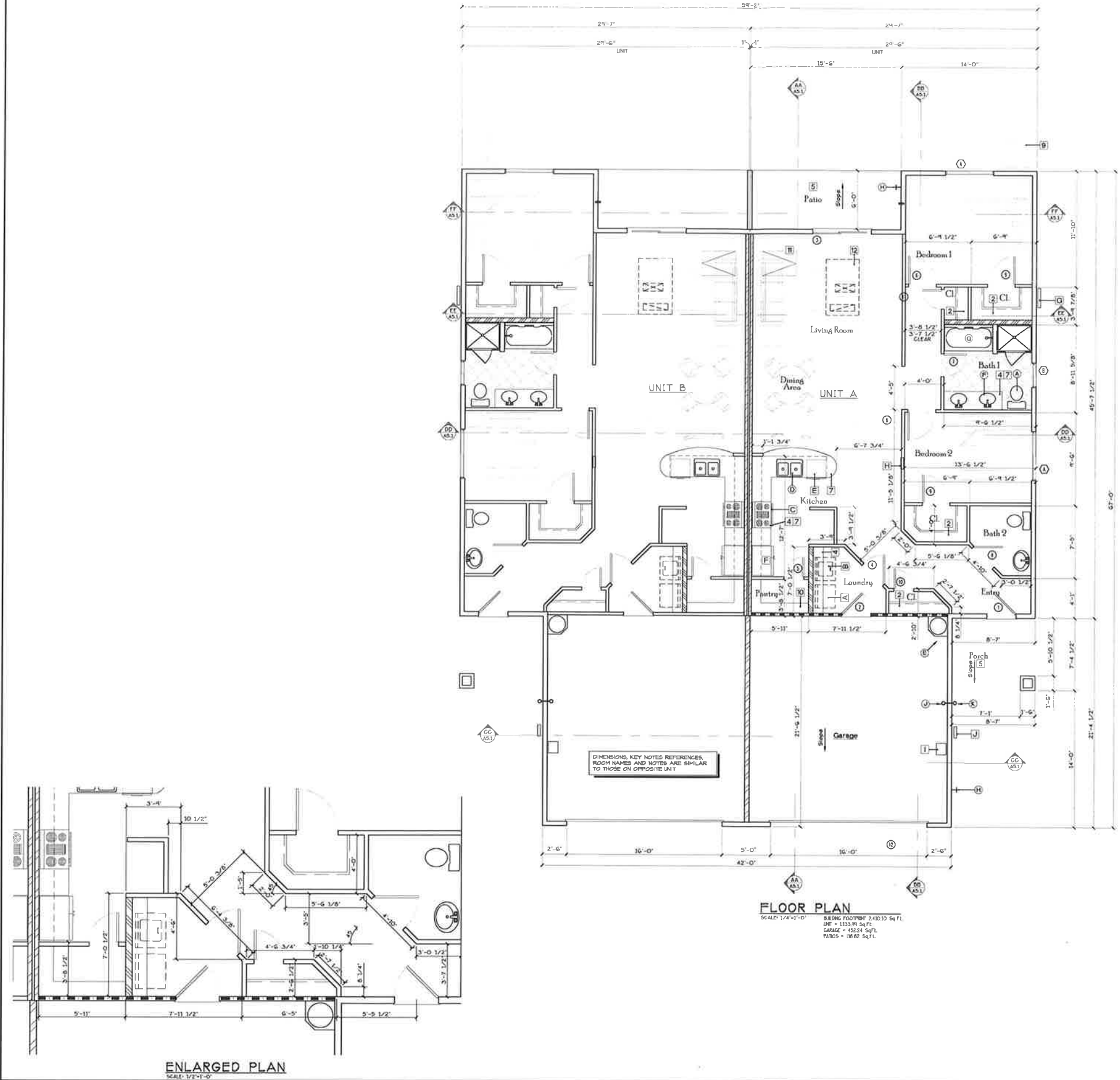
1	
2	
3	
4	

FIG. NUMBER: 2020_022

REGISTERED ARCHITECT
JEFF A. CAZALY
NO. C-35485
ISSUED DATE: 8-31-21
STATE OF CALIFORNIA

DATE: 4-7-21
SCALE:
DESIGNED BY:
CHECKED BY:
APPROVED BY: JAC
DATE: 4-7-21





BUILDING PLAN NOTES

- NOTES:
- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS, AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 1109.4. CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 19 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE OPENING.
 - OPERATING CONTROLS AND MECHANISMS SHALL OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRIPPING, FINGER OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
 - WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50, SECTION 1207.2 + 1207.3.

FIRE PREVENTION NOTES

- OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION COVER THE COUNTERS FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS WITH 250 OR MORE SPRINKLER HEADS-2013 CFC, SECTION 903.4. INSTALLATIONS MUST ALSO COMPLY WITH FPD POLICY SECTIONS 405 + 407. FPD POLICES CAN BE FOUND ON THE FIRE DEPT. WEBSITE UNDER COMPLIANT AND PROFESSIONAL SERVICES, FIRE DEPT. POLICES.
- THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF 'CRACKETS' (WHERE APPLICABLE).
- APPROVAL OF FIRE SPRINKLER RISER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION, ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- PROVIDE A MINIMUM 18 IN X 24 IN ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL APARTMENT BUILDINGS.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5' OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED INDICATING CONTROL VALVE.

FLOOR PLAN KEYNOTES

- FLOOR FINISH MATERIALS SELECTION AND PATTERN DESIGN (IF ANY) FOR THE ENTRY, KITCHEN AND BATHROOMS TO BE PROVIDED BY OWNER.
- SHELF AND POLE.
- LINEN CLOSET WITH (5) SHELVES.
- BUILT-IN BASE CASEWORK.
- 3-1/2" FRESH CONCRETE SLAB WITH BROOK FINISH AND 2% SLOPE.
- BUILT-IN UPPER WALL CASEWORK.
- COUNTER TOP MATERIAL TO BE SELECTED BY OWNER.
- LABELED SAFETY GLAZING PER IRC SECTION R308.4.
- A/C CONDENSER SECURED TO A 3'X3'X3-1/2" CONCRETE PAD.
- PANTRY STORAGE - 5 SHELVES 12" DEEP.
- 30"x42" FINISH GROUGH OPENING ATTIC ACCESS, CLEAR AND UNOBSTRUCTED FROM THE FLOOR TO THE OPENING. THE ACCESS DOOR SHALL HAVE INSULATION PERMANENTLY ATTACHED WITH ADHESIVE OR MECHANICAL FASTENERS AND BE GASKETED TO PREVENT AIR LEAKAGE AS PER SECTION 1503.0 OF THE CALIFORNIA ENERGY CODE.
- TRAVEL UNIT IN ATTIC SPACE, 18"x30"x4" HEAD SPACE REDUCED WHEN UNIT IS NOT ADJACENT TO ACCESS OPENING. PROVIDE BLEEDING OUTLET AND LIGHT FIXTURE WITHIN 25' OF A/C AND A 30"x30" MIN GRAVEL SPACE TO NEAR UNIT.

PLUMBING FIXTURE LEGEND

- (A) WATER CLOSET - WATER CLOSET COMPARTMENT MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. LOW-FLOW WATER CLOSETS TO BE INSTALLED CHAIRMAN 1.28 GALLONS PER FLUSH.
- (B) SHOWER WITH FULL HEIGHT CERAMIC TILE AND THERMOPIC GLASS ENCLOSURE. CHINED SHOWER DOORS SHALL OPEN OUTWARD. INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS. THE MIN. HEIGHT OF THE SHOWER SHALL BE 30" IN ANY ONE DIRECTION WITH A MIN. OF 1.024 SQUARE FEET.
- (C) KITCHEN SINK DOUBLE BASIN WITH GARBAGE DISPOSAL AND SWITCH FOR DISPOSAL AT WALL NEAR SINK.
- (D) BATH TUB WITH FIBERGLASS WAINSCOT TO BE SELECTED BY OWNER.
- (E) 50 GALLON TANK WATER HEATER STRAPPED TO WALL AS PER DETAIL 11/73.0.
- (F) SINGLE BASIN BATH LAVATORY TO BE SELECTED BY OWNER.
- (G) WIREPOOL TUB ON A RAISED TILED PLATFORM. COLOR AND SIZE TO BE SELECTED BY OWNER. PROVIDE A 12"x12" PLUMBING ACCESS PANEL.
- (H) GAS METER.
- (I) HOSE BIBB.
- (J) SECOND SHUT-OFF - SEE DETAIL 1/750.0.
- (K) FIRE SPRINKLER RISER - SEE DETAIL 1/750.0.

APPLIANCE LEGEND

- (A) CLOTHES DRYER TO BE SELECTED BY OWNER. VENT TO OUTSIDE AIR. 4" VENT FOR A COMBINED HORIZONTAL AND VERTICAL LENGTH NOT TO EXCEED 34'-0" WITH MAX. (2) ELBOWS. ALTERNATE 3" VENT FOR A COMBINED HORIZONTAL AND VERTICAL LENGTH NOT TO EXCEED 37'-6" WITH MAX. (2) ELBOWS. PROVIDE 220V RECEPTACLE. SEE DETAIL 3/A2.5.
- (B) CLOTHES WASHER TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (C) GAS RANGE AND HOOD WITH EXHAUST FAN TO BE SELECTED BY OWNER.
- (D) MICROWAVE OVEN TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (E) DISHWASHER TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (F) REFRIGERATOR TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (G) 100 AMP RATED SERVICE PANEL WITH NO. 4 BARE COPPER WIRE BONDED TO GROUND WATER PFC GROUND TO 20' U.T.E.R. - SEE DETAIL 3/A2.5.
- (H) 125 AMP RATED SUB-PANEL.
- (I) SOLAR PANEL SYSTEM INVERTER +/- DC DISCONNECT. PROVIDE 3/4" EMT EXHIBIT FROM INVERTER TO ARRAY LOCATION. CITE ROOF + SITE PLAN FOR LOCATIONS + ORIENTATION.
- (J) SOLAR PANEL SYSTEM AC DISCONNECT.

LEGEND

- (1) ROOM NUMBER (SEE SCHEDULE SHI. A5.1)
- (2) WINDOW NUMBER (SEE SCHEDULE SHI. A6.1)

WALL LEGEND

- EXTERIOR HALL - 2x6 HOOD STUDS @ 16" O.C. 1 COAT STUCCO FINISH EXTERIOR SURFACE w/ 1 HIGH MOVEN WIRE LATH MIN 20 GAUGE, 6ALY. #4 REBAR FROM 1" THICK POLY-B TECH ONE COAT STUCCO BOARD. 1/2" LAYERS OF GRADE 17 50 # SILLING PARTS OF STUDS, SHEATHING AS REQ'D. INSTALL R-H INSL. 1 1/2" GYP. BO. ON INTERIOR SURFACE.
- TERMINAL HALL - 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES W/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR BEARING HALL - 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES W/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR BEARING HALL - 2x6 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES W/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR PARTITION HALL - 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES W/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF CEILING JOISTS.
- INTERIOR PARTITION HALL - 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES W/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF CEILING JOISTS.



NEW DEVELOPMENT FOR:
CORVINA APARTMENTS
GLASS AVE. & HEREFORD ST.

CITY OF TULARE **APN. 166-230-005** **CALIFORNIA**

CONSULTANT:

EXIST. CONTENTS:
BLDG. TYPE 2
FLOOR PLAN

REVISED:

JOB NUMBER: 2020_022



DATE: 06-17-20

SCALE: 1/4" = 1'-0"

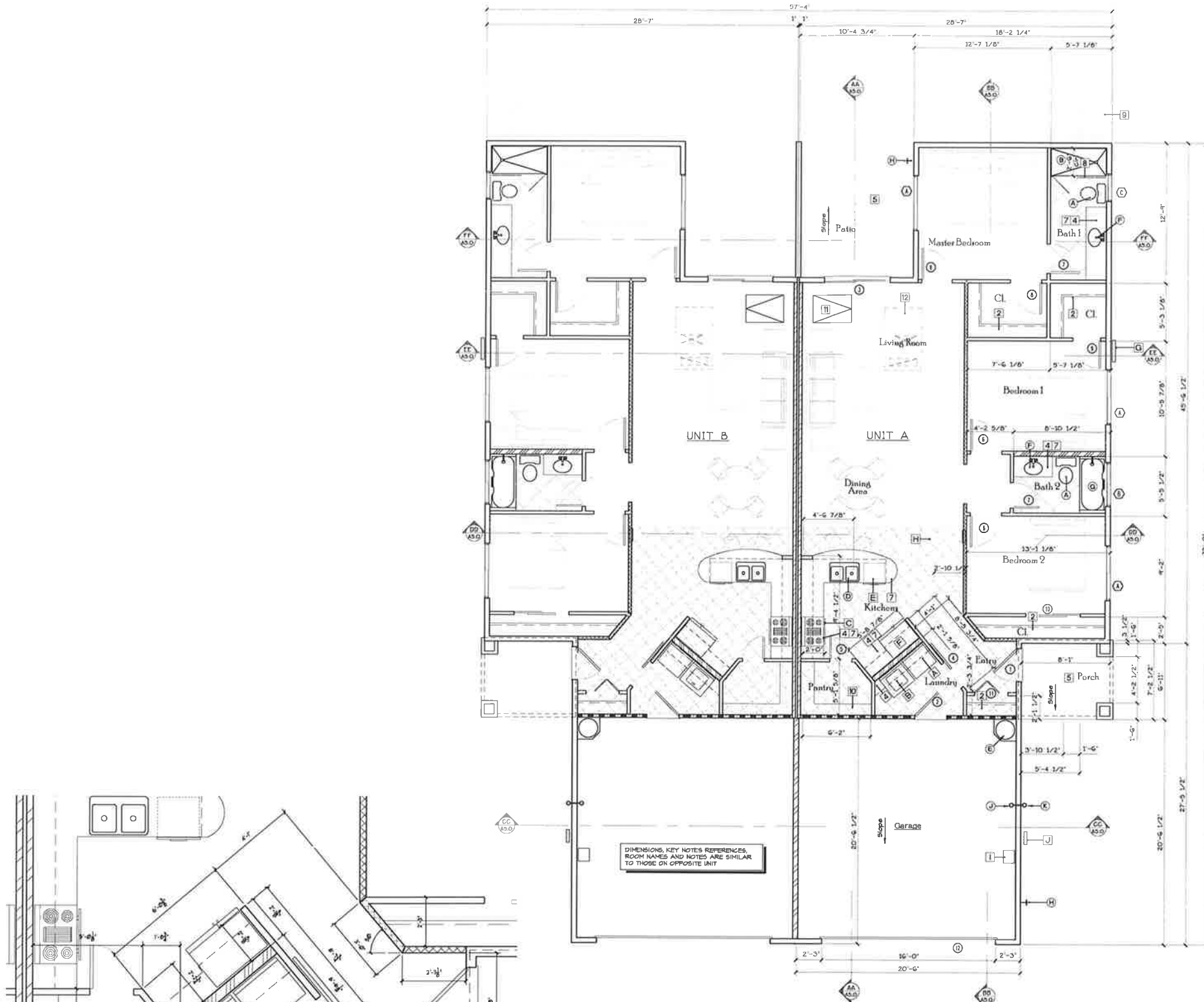
PROJECT: CORVINA APARTMENTS

DATE: 06-17-20

SCALE: 1/4" = 1'-0"

PROJECT: CORVINA APARTMENTS

A32



DIMENSIONS, KEY NOTES REFERENCES, ROOM NAMES AND NOTES ARE SIMILAR TO THOSE ON OPPOSITE UNIT

FLOOR PLAN
 SCALE: 1/4"=1'-0"
 BUILDING FOOTPRINT 3330.34 sq.ft.
 UNIT = 2216.64 sq.ft.
 GARAGE = 421.30 sq.ft.
 PATIOS = 132.43 sq.ft.

ENLARGED PLAN
 SCALE: 1/2"=1'-0"

BUILDING PLAN NOTES

- NOTES:
- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 1108.4.4 (CONTROLS AND OPERATING MECHANISMS).
 - CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE OPENING.
 - OPERATION - OPERATING CONTROLS AND MECHANISMS SHALL OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRIPPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
 - WALLS, PARTITIONS AND FLOOR/CILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50, SECTION 1207.2.4.1207.3.

FIRE PREVENTION NOTES

- OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION COVER THE COUNTERTOP FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS WITH 20 OR MORE SPRINKLER HEADS-2013 IFC, SECTION 903.4. INSTALLATIONS MUST ALSO COMPLY WITH FPD POLICY SECTIONS 405 + 401. FPD POLICIES CAN BE FOUND ON THE FIRE DEPT. WEBSITE UNDER COMPLAINT AND PROFESSIONAL SERVICES, FIRE DEPT. POLICIES.
- THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF 'CONCRETS' (WHERE APPLICABLE).
- APPROVAL OF FIRE SPRINKLER RISKER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- PROVIDE A 18"X18" IN. X 24" N. ACCESS PANEL FOR THE FIRE SPRINKLER RISKER IN ALL APARTMENT BUILDINGS.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5' OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED PNEUMATIC CONTROL VALVE.

FLOOR PLAN KEYNOTES

- FLOOR FINISH MATERIALS SELECTION AND PATTERN DESIGN (IF ANY) FOR THE ENTRY, KITCHEN AND BATHROOMS, TO BE PROVIDED BY OWNER.
- SHelf AND POLE.
- LINEN CLOSET WITH (2) SHELVES.
- BUILT-IN BASE CASEWORK.
- 3-1/2" PORCH CONCRETE SLAB WITH BROOK FINISH AND 2% SLOPE.
- BUILT-IN UPPER WALL CASEWORK.
- COUNTER TOP MATERIAL TO BE SELECTED BY OWNER.
- LABELED SAFETY GLAZING PER IBC SECTION R308.4.
- A/C CONDENSER SECURED TO A 3X3X3-1/2" CONCRETE PAD.
- PANTRY STORAGE - 5 SHELVES 12" DEEP.
- 30"x42" REFRIG CROUCH OPENING ATING ACCESS CLEAR AND UNOBSTRUCTED FROM THE FLOOR TO THE OPENING. THE ACCESS DOOR SHALL HAVE INSULATION PERMANENTLY ATTACHED WITH ADHESIVE OR MECHANICAL FASTENERS AND BE GAS-TIGHT TO PREVENT AIR LEAKAGE AS PER SECTION 1502.0 OF THE CALIFORNIA ENERGY CODE.
- HVAC UNIT IN ATTIC SPACE, 18"x30"x14" HEAD SPACE REQ'D WHEN UNIT IS NOT ADJACENT TO ACCESS OPENING. PROVIDE ELECTRIC OUTLET AND LIGHT FIXTURE WITHIN 25' OF A/C AND A 30"x30" RH CEILING SPACE TO REFR UNIT.

PLUMBING FIXTURE LEGEND

- (A) WATER CLOSET- WATER CLOSET COMPARTMENT MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER CLOSET. LOW-FLOW WATER CLOSETS TO BE INSTALLED CHAINPUM 1.28 GALLONS PER FLUSH.
- (B) SHOWER WITH FULL HEIGHT CERAMIC TILE AND TEMPERED GLASS ENCLOSURE (FIXED SHOWER DOORS SHALL OPEN OUTWARDS). MANUAL CONTROL VALVES OF THE PRESSURE-BALANCE OF THE THERMOSTATIC MIXING VALVE TYPE AT THE SHOWERS. THE MIN. HOSE DIMENSION OF THE SHOWER SHALL BE 30" IN ANY ONE DIRECTION WITH A MIN OF 1.024 SQUARE INCHES.
- (C) KITCHEN SINK DOUBLE BASIN WITH GARBAGE DISPOSAL AND SWITCH FOR DISPOSAL AT WALL NEAR SINK.
- (D) BATH TUB WITH FIBERGLASS WANGCOT TO BE SELECTED BY OWNER.
- (E) 50 GALLON TANK WATER HEATER STRAPPED TO WALL AS PER DETAIL 11/P3.0.
- (F) SINGLE BASIN BATH LAVATORY TO BE SELECTED BY OWNER.
- (G) WHIRPOOL TUB ON A RAISED TILED PLATFORM. COLOR AND SIZE TO BE SELECTED BY OWNER. PROVIDE A 12"x12" PLUMBING ACCESS PANEL.
- (H) GAS METER.
- (I) HOSE BIBB.
- (J) SECOND SHUT-OFF - SEE DETAIL 1/P50.0.
- (K) FIRE SPRINKLER RISER - SEE DETAIL 1/P50.0.

APPLIANCE LEGEND

- (A) CLOTHES DRYER TO BE SELECTED BY OWNER VENT TO OUTSIDE AIR. 4" VENT FOR A CORNERED HORIZONTAL AND VERTICAL LENGTH NOT TO EXCEED 14'-0" WITH MAX (2) ELBOWS. ALTERNATE 3" VENT FOR A CORNERED HORIZONTAL AND VERTICAL LENGTH NOT TO EXCEED 37'-0" WITH MAX (2) ELBOWS. PROVIDE SMOKE RECEPTACLE. SEE DETAIL 3/4/2.5.
- (B) CLOTHES WASHER TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (C) GAS RANGE AND HOOD WITH EXHAUST FAN TO BE SELECTED BY OWNER.
- (D) MICROWAVE OVEN TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (E) DISHWASHER TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (F) REFRIGERATOR TO BE SELECTED BY OWNER (PROVIDE RECEPTACLE).
- (G) 200 AMP RATED SERVICE PANEL WITH NO. 4 BARE COPPER WIRE BONDED TO COLD WATER PIPE. GROUND TO 20' LIFE. - SEE DETAIL 3/4/2.5.
- (H) 125 AMP RATED SUB-PANEL.
- (I) SOLAR PANEL SYSTEM INVERTER w/ DC DISCONNECT. PROVIDE 3/4" EMT CONDUIT FROM INVERTER TO ARRAY LOCATION (SEE ROOF + SITE PLAN FOR LOCATIONS + ORIENTATION).
- (J) SOLAR PANEL SYSTEM AC DISCONNECT.

LEGEND

- (O) DOOR NUMBER (SEE SCHEDULE SHT. 45.0)
- (W) WINDOW NUMBER (SEE SCHEDULE SHT. 46.0)

WALL LEGEND

- EXTERIOR WALL: 2x6 HOOD STUDS @ 16" O.C. 1 COAT 5/8" GYP FINISH EXTERIOR SURFACE w/ 1/2" INCH HOVEN WIRE LATH MIN. 20 GAUGE. GALV. OF 2" THICK POLYMER CONCRETE. INTERIOR ONE COAT STUCCO BONDING. 2 LAYERS OF GRADE 75 30 IN BUILDING PAPER OF STRICT SHEATHING AS REQ'D. INSTALL R-H INSUL. 1 1/2" GYP. BO. ON INTERIOR SURFACE.
- DEMISING WALL: 1/2" INCH RATED: 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES w/ R-13 INSULATION. WALL FRAMING 4 FINISH TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR BEARING WALL: 2x6 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES w/ R-13 INSULATION. WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR BEARING WALL: 2x6 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES w/ R-13 INSULATION. WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR PARTITION WALL: 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES w/ R-13 INSULATION. WALL FRAMING TO EXTEND TO UNDERSIDE OF CEILING JOISTS.
- INTERIOR PARTITION WALL: 2x4 HOOD STUDS @ 16" O.C. 5/8" GYP. BO. BOTH SIDES w/ R-13 INSULATION. WALL FRAMING TO EXTEND TO UNDERSIDE OF CEILING JOISTS.

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NEW DEVELOPMENT FOR:
THE VINTAGE SENIOR APARTMENTS
 ORIOLE AVE & SHIRK ST.
 CALIFORNIA
 CITY OF VISALIA APN. 07-800-02

CONSULTANT

PROJECT CONTENTS:
 BLDG. TYPE 3
 FLOOR PLAN

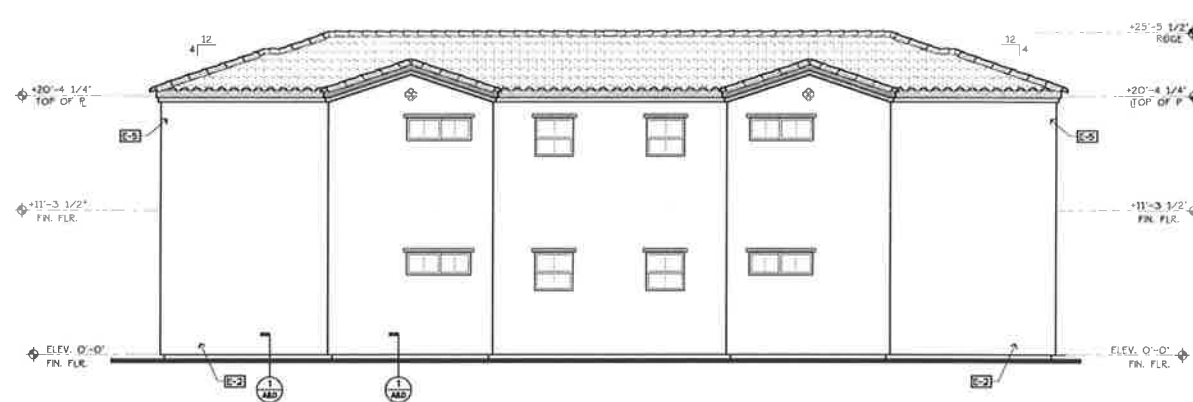
REVISED:

1	DATE	DESCRIPTION

FOR NUMBER: 2017-023

Drawn by:	WGB
Checked by:	JJC
Approved by:	JJC
Date:	07/08

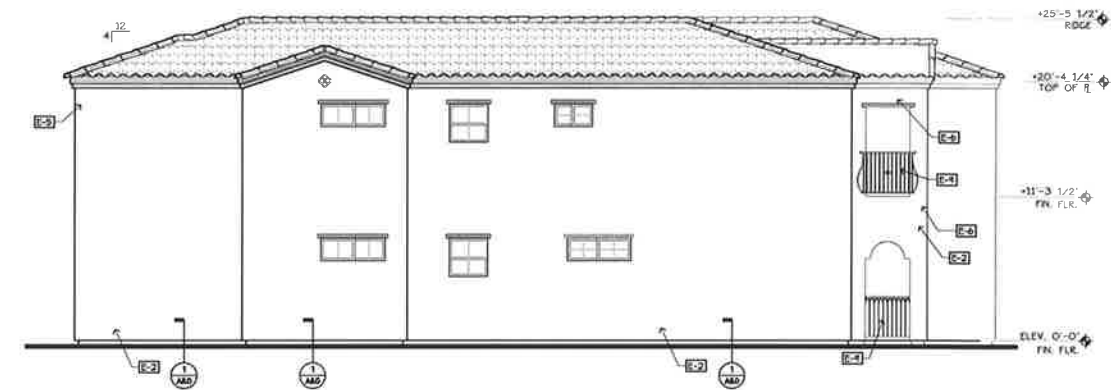
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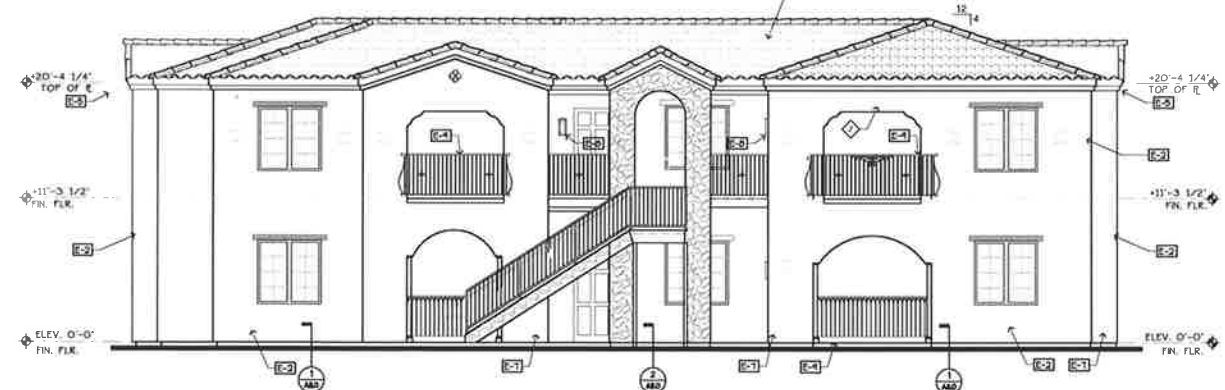
UNIT C EXTERIOR ELEVATION



UNIT C EXTERIOR ELEVATION



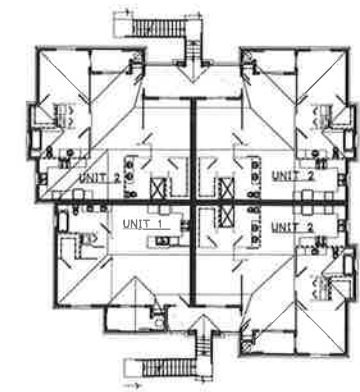
UNIT 2 & 1 EXTERIOR ELEVATION



UNIT 1 & 2 EXTERIOR ELEVATION

BUILDING TYPE 2 EXTERIOR ELEVATIONS

SCALE: 3/16"=1'-0"



EXTERIOR COLOR KEYNOTES

- ◇ ICI #1291 Big River
- ◇ ICI #604 Sand White
- ◇ ICI #152 River Birch
- ◇ ICI #614 Stirlington Beige
- ◇ ICI #942 Pecan Tree
- ◇ Tajem Textured Stone- Venuesstone Style-Stack Stone, Color-Silver

EXTERIOR ELEVATIONS KEYNOTES

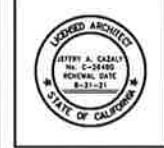
- E-1 TILE ROOF (OWNER TO SELECT) OVER 5/8" FELT UNDERLAMENT OVER PLYWOOD ROOF SHEATHING. INSTALL ROOF PER MANUF. SPECIFICATIONS.
- E-2 1/8" THK. GYPSUM PLASTER FINISH OVER WIRE MTL LATH OR F.P. BUILDING PAPER (PER CBC SECTION 25.2.0 (PROVIDED 5/8" HIGH RIB MTL LATH AT BOTTOM OF SOFFITS) SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
- E-3 CONTROL JOINT (TYP. AS SHOWN - SEE DETAIL).
- E-4 GABLE VENT.
- E-5 BUILT-UP PLASTER TRIM.
- E-6 DECORATIVE FOAM TRIM.
- E-7 STONE VENEER - OWNER TO SELECT.
- E-8 DECORATIVE LIGHT FIXTURE - OWNER TO SELECT.

NEW DEVELOPMENT FOR:
CORVINA APARTMENTS
 GLASS AVE. & HEREFORD ST.
 CITY OF TULARE CALIFORNIA
 APN. 166-230-005

BUILDING TYPE 1 EXTERIOR ELEVATIONS

REVISIONS:
 △
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JOB NUMBER: 2020_022



Drawn by: JGC
 Checked by: JGC
 Numbered: JGC
 Date: 4/1/21
 Scale: As noted
A4.0

Community & Economic Development Department
411 East Kern Avenue
Tulare, CA 93274
(559) 684.4217 Fax (559) 685.2339

Fee: \$0.00

Site Plan Review Application No. 21-22



— THIS AREA FOR CITY STAFF USE ONLY —
Date Received: 3/2
SPR Agenda: 3/10 Item No. 3
Zoning: _____ GP Designation: _____

CITY OF TULARE SITE PLAN REVIEW APPLICATION

This application MUST be filled out in its entirety and submitted with ten (10) copies of an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda.

All plans to be considered on the next available agenda must be submitted by 3:00pm on the Thursday prior to the meeting.

SITE PLAN MEETINGS ARE HELD ON WEDNESDAYS AT 1:30 PM AT TULARE CITY HALL-COMMUNITY ROOM – 411 E KERN AVE – APPLICANT OR REPRESENTATIVE MUST BE PRESENT

GENERAL PROJECT INFORMATION

Project/Business Name: 245 N. M St. - Conditional Use Permit Date: 3/1/2021

Project Description: Conditional use permit to use the home located at 245 N. M St. as a residence, as well as two accessory residential units located at the back of the property.

Site Plan Review Submittal: Yes No If Resubmittal, Previous Site Plan Review No: _____

Property Owner: KB COMMERCIAL LLC Applicant(s) Name: David Dieleman

Property Address/Location: 245 N. M St. Tulare, CA 93274 Assessor Parcel No. (APN): 176-121-006-000

Parcel Size (Acreage or Sq Ft.): 7,500 sq. ft. Building Square Footage: 792 sq. ft. (house)

Describe All Proposed Building Modifications: Adding a shower in house; approach, and driveway + 420 sq. ft South accessory unit
+ 672 sq. ft North accessory unit

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Industrial & Commercial

Existing/Prior Land or Building Use: Front house is currently an office; back two accessory units are currently residential

Proposed Building or Land Use: Changing house to residential

Proposed Hours of Operation: N/A Days of Week in Operation (Circle): Su M T W Th F Sa

Number of Existing Parking Stalls: 0 Number of Proposed New Parking Stalls: 2

Number of Existing or Anticipated New Employees: N/A Anticipated No. of Trucks/day: N/A

Brief Operational Statement: N/A

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Residential

Is the project: New construction Remodel

Single-Family Residential Multi-Family Residential

Number of dwelling units: 3 Total of area (in square feet): 7,500 sq. ft lot

Total lot coverage of buildings or structures (in square feet): 1,884 sq. ft Percentage of lot coverage 25 %

Proposed project phasing: Yes No If yes, proposed number of phases: _____

SITE PLAN MINIMUM REQUIREMENTS

The Applicant shall submit **ten (10) copies** of the proposed site plan along with this completed Application to the Office of Community & Economic Development. Suggested minimum sheet size for site plans is 11"x17" folded to a legal size of 9"x12" with the print on the outside. No rolled plans accepted. (Excludes tentative and parcel maps)

The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information: (Municipal Code Section 10.120.040)

- | | |
|--|--|
| <input checked="" type="checkbox"/> Address | <input checked="" type="checkbox"/> Location and width of drive approaches |
| <input checked="" type="checkbox"/> Assessor's parcel number | <input checked="" type="checkbox"/> Method of on-site drainage |
| <input checked="" type="checkbox"/> Vicinity map on cover sheet | <input checked="" type="checkbox"/> Location of existing and/or proposed public improvements |
| <input checked="" type="checkbox"/> Scale and north arrow | <input checked="" type="checkbox"/> Method of sanitary disposal |
| <input checked="" type="checkbox"/> Dimensions of property | <input checked="" type="checkbox"/> Location and wide of drive approaches to site |
| <input checked="" type="checkbox"/> Existing and proposed structures showing distances from Property lines | <input checked="" type="checkbox"/> Adjacent street names |
| <input checked="" type="checkbox"/> Location and height of proposed fences, walls | <input checked="" type="checkbox"/> Existing and proposed landscaping |
| <input checked="" type="checkbox"/> Existing and proposed parking stalls (include ADA) | <input checked="" type="checkbox"/> Location of signs and size |
| | <input checked="" type="checkbox"/> Elevations if required by City Planner |

Failure to provide all requested information may result in your application being rejected and excluded from the Site Plan Review agenda

Applicant Information (Final Comments will be mailed to the name and address provided below.)

***If signed by an authorized agent, an "Agency Authorization" must be completed for this application to be considered complete.**

Name: David Dieleman

Address: 164 N. M St.

City, State, Zip: Tulare, CA 93274

Phone: 559-687-2780

E-Mail: david@mytotalproperty.com

Signature of Owner or Authorized Agent*	
_____	<u>3/1/2020</u>
Owner	Date
	<u>3/1/2020</u>
Authorized Agent*	Date

-THIS AREA FOR CITY STAFF USE ONLY-

APPLICATION DEEMED COMPLETE

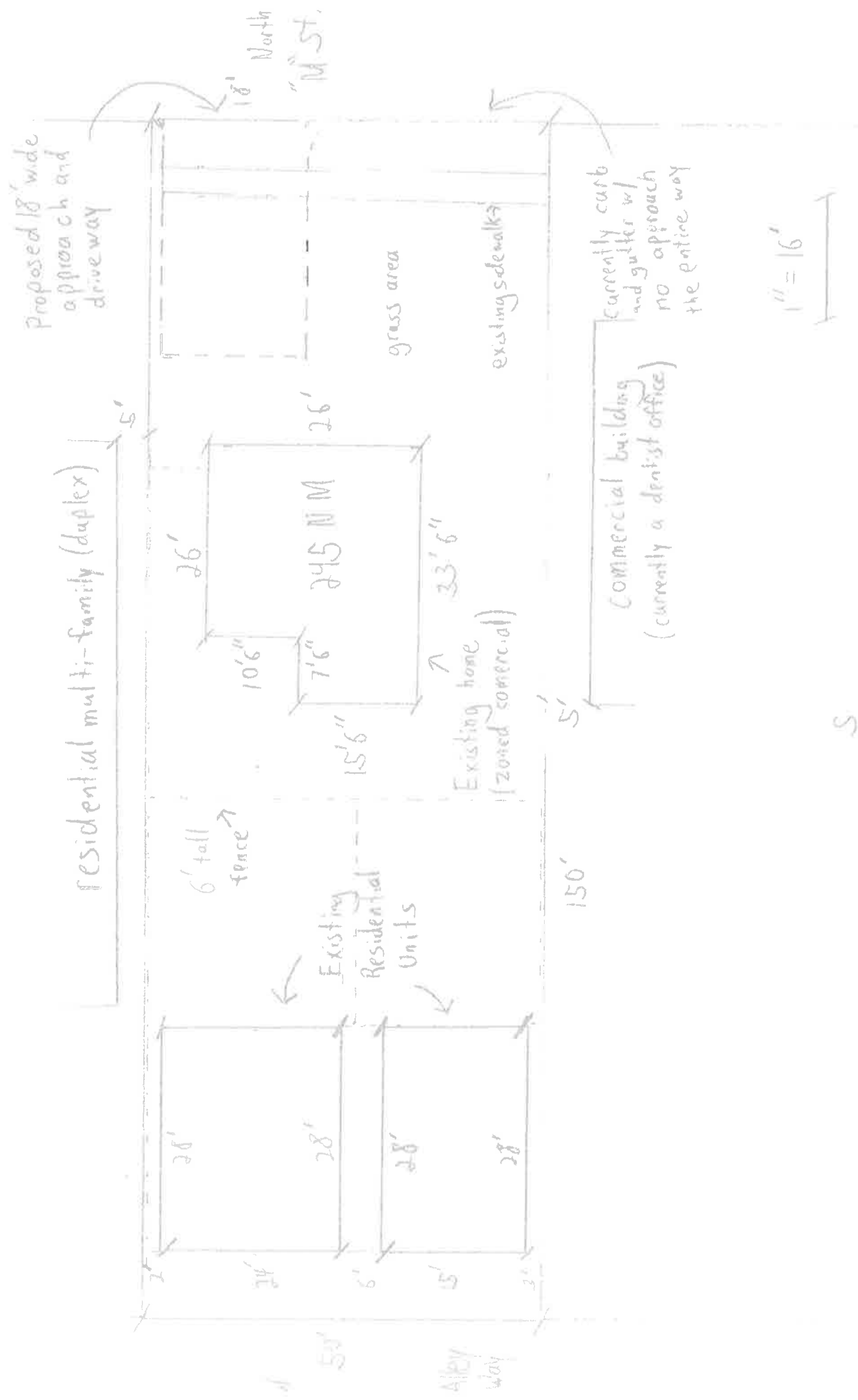
By: _____

Date: _____

245 N M St.
 Tulare CA 93274
 176-121-006-000



Site Plan for Conditional
 Use Permit for 245 N M



N
W + E
S

Multi-family
residential

245 N M St

Commercial office

DISCLAIMER
THIS MAP WAS PREPARED FOR LOCAL
AND THE PARCELS SHOWN HEREON ARE
SUBDIVISIONS, EASEMENTS AND ZONING
OR THE INFORMATION SHOWN HEREON.

POR. NW 1/4 SEC. 11, T.20S., R.24E., M.D.B.&M.

Tax Area Code 176-12
005-060



POR. TULARE TOWNSITE, R.M. 1-18 & 19 & 3-36
PARCEL MAP 415B, P.M. 42-62
RECORD OF SURVEY, L.S. 26-69

CITY OF TULARE
ASSESSOR'S MAPS BK.176 , PG.12
COUNTY OF TULARE, CALIFORNIA, U.S.A.

NOTE: Assessor's Parcel Numbers Shown in Circles
Assessor's Block Numbers Shown in Ellipses

APN	REVISION	DATE	CHK	TECH
123		11/26/2012		

This map/plan is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

Community & Economic Development Department
411 East Kern Avenue
Tulare, CA 93274
(559) 684.4217 Fax (559) 685.2339

Fee: \$0.00

Site Plan Review Application No. 21-23



— THIS AREA FOR CITY STAFF USE ONLY —
Date Received: 3/2
SPR Agenda: 3/10 Item No. 4
Zoning: _____ GP Designation: _____

CITY OF TULARE SITE PLAN REVIEW APPLICATION

This application MUST be filled out in its entirety and submitted with ten (10) copies of an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda.

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SITE PLAN MEETINGS ARE HELD ON WEDNESDAYS AT 1:30 PM AT TULARE CITY HALL-COMMUNITY ROOM – 411 E KERN AVE – APPLICANT OR REPRESENTATIVE MUST BE PRESENT

GENERAL PROJECT INFORMATION

Project/Business Name: Blain Companies 4-Plex Date: 3/2/2021
Project Description: New construction 4 plex located at 525 S. I Street Tulare, CA
Site Plan Review Submittal: Yes No If Resubmittal, Previous Site Plan Review No: _____
Property Owner: Valley Builders INC Applicant(s) Name: Eric Blain (Valley Builders INC)
Property Address/Location: 525 S. I Street Assessor Parcel No. (APN): 175-192-002-000
Parcel Size (Acreage or Sq Ft.): 12,000 sq ft Building Square Footage: 4,840
Describe All Proposed Building Modifications: New construction multi family 4 plex - 1,210 sq ft units

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Industrial & Commercial

Existing/Prior Land or Building Use: _____
Proposed Building or Land Use: _____
Proposed Hours of Operation: _____ Days of Week in Operation (Circle): Su M T W Th F Sa
Number of Existing Parking Stalls: _____ Number of Proposed New Parking Stalls: _____
Number of Existing or Anticipated New Employees: _____ Anticipated No. of Trucks/day: _____
Brief Operational Statement: _____

CITY OF TULARE SITE PLAN REVIEW APPLICATION

A SEPARATE DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS

Residential

Is the project: New construction Remodel

Single-Family Residential Multi-Family Residential

Number of dwelling units: 4 Total of area (in square feet): 4,840

Total lot coverage of buildings or structures (in square feet): 6,428 Percentage of lot coverage 53% %

Proposed project phasing: Yes No If yes, proposed number of phases: _____

SITE PLAN MINIMUM REQUIREMENTS

The Applicant shall submit ten (10) copies of the proposed site plan along with this completed Application to the Office of Community & Economic Development. Suggested minimum sheet size for site plans is 11"x17" folded to a legal size of 9"x12" with the print on the outside. No rolled plans accepted. (Excludes tentative and parcel maps)

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| <input checked="" type="checkbox"/> Location and height of proposed fences, walls | <input checked="" type="checkbox"/> Existing and proposed landscaping |
| <input checked="" type="checkbox"/> Existing and proposed parking stalls (include ADA) | <input checked="" type="checkbox"/> Location of signs and size |
| | <input checked="" type="checkbox"/> Elevations if required by City Planner |

Failure to provide all requested information may result in your application being rejected and excluded from the Site Plan Review agenda

Applicant Information (Final Comments will be mailed to the name and address provided below.)

***If signed by an authorized agent, an "Agency Authorization" must be completed for this application to be considered complete.**

Name: Valley Builders INC

Address: 128 N. M St

City, State, Zip: Tulare, CA 93274

Phone: 559-936-0456

E-Mail: eric@blainhomes.com

Signature of Owner or Authorized Agent*	
<u>Eric Blain</u>	<u>3/2/21</u>
Owner	Date
Authorized Agent*	Date

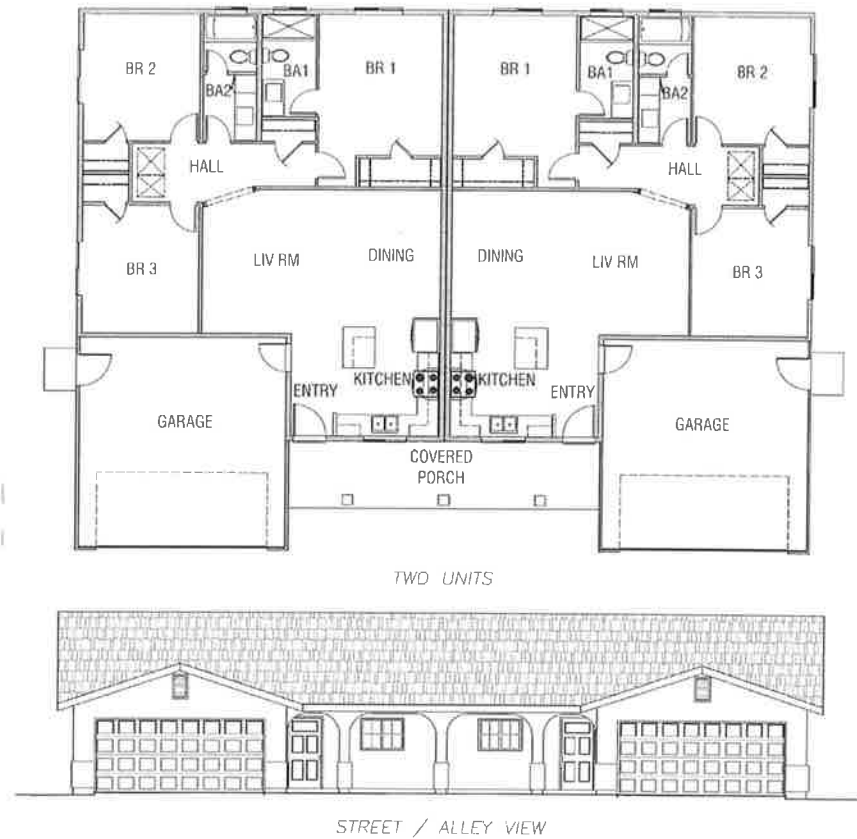
-THIS AREA FOR CITY STAFF USE ONLY-

APPLICATION DEEMED COMPLETE

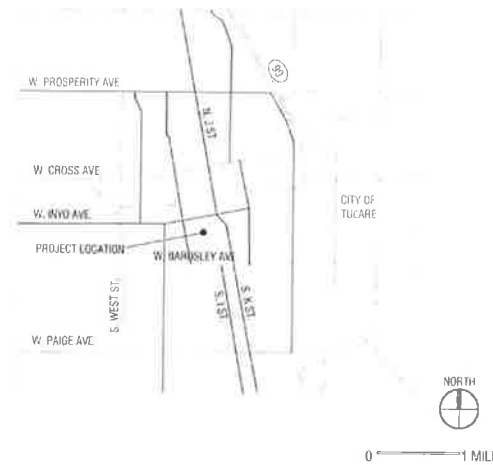
By: _____

Date: _____

A PROPOSED FOUR-PLEX
525 S. "I" Street
 TULARE, CA 93274



LOCATION MAP



PROJECT DATA

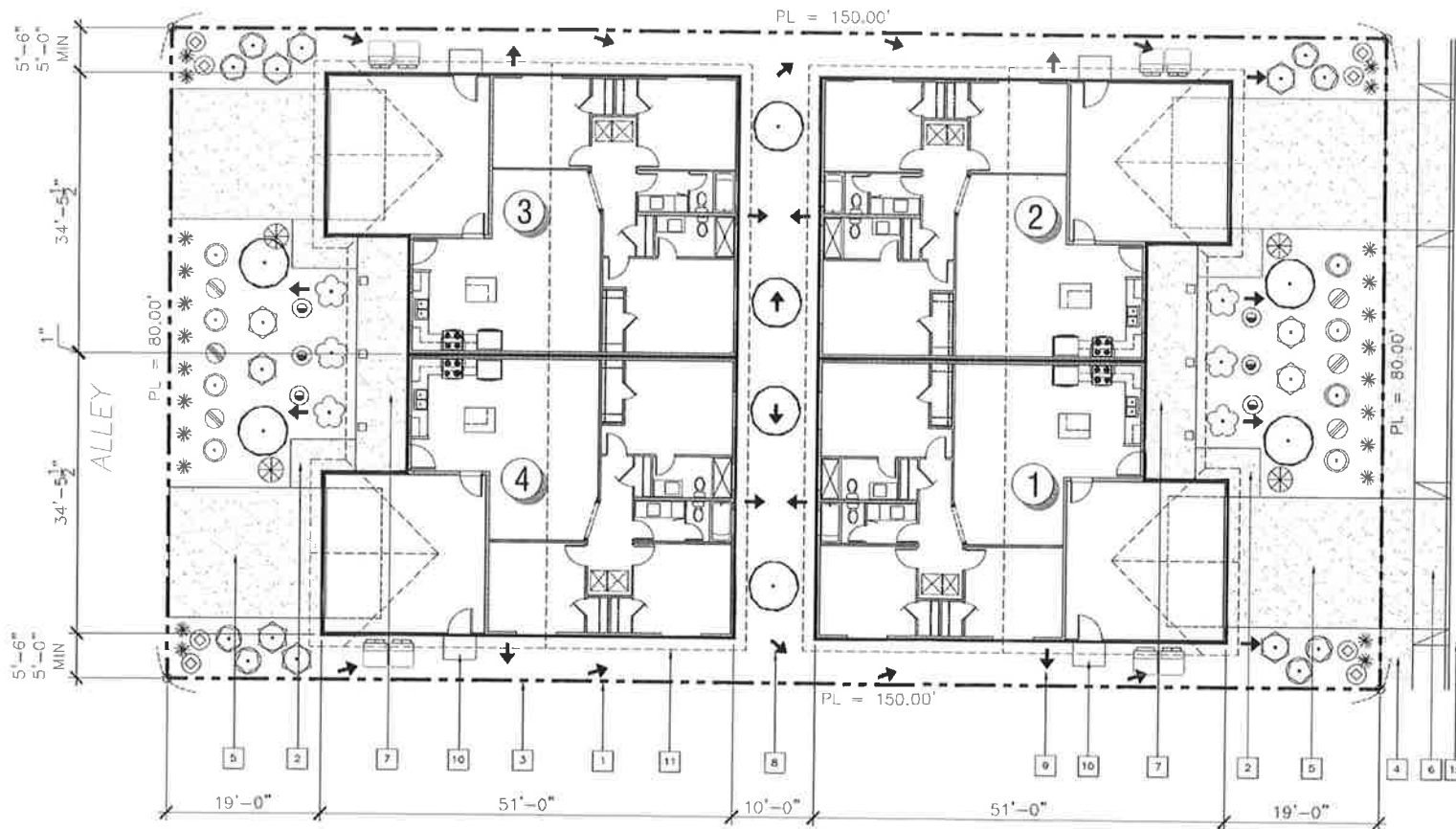
OWNER INFORMATION	
OWNER:	BLAIN COMPANIES
ADDRESS:	128 N. M ST.
CITY, STATE, ZIP:	TULARE, CA 93274
PHONE:	(559) 936-0456
PROJECT	
ASSESSORS' PARCEL NO.:	175-192-002-000
PROJECT ADDRESS:	525 S. I ST.
ZONING:	R-MS
CONSTRUCTION TYPE:	V B
BUILDING HEIGHT:	±17'-3"
FLOOR AREA (CONDITIONED SPACE):	1,210 S.F.
GARAGE AREA:	397 S.F.
TOTAL SQ.FT. (PER UNIT):	1,607 S.F.
TOTAL SQ. FT. (4 UNITS):	6,428 S.F.
PARCEL SQ.FT.:	12,000 S.F.
LOT COVERAGE:	0.535 (54%)

KEY LEGEND

- ITEMS LISTED AS (N) "NEW" ARE PROPOSED
- 1 (E) PROPERTY LINE
 - 2 (N) 3 FT. WD. MIN. CONCRETE SIDEWALK TO UNIT(S)
 - 3 (E) FENCING TO REMAIN REPAIR AND REPLACE AS NEEDED
 - 4 (N) CONCRETE SIDEWALK AND PARKWAY PER CITY STANDARDS
 - 5 (N) 16' WD. CONCRETE DRIVEWAY
 - 6 (N) RESIDENTIAL CITY STANDARD DRIVE APPROACH
 - 7 (N) COVERED ENTRY PORCH
 - 8 SLOPE GRADE TO FRONT OF LOT
 - 9 SLOPE 2% PER 5 FT. AWAY FROM STRUCTURE
 - 10 (N) 36" SQ. CONCRETE LANDING
 - 11 DASHED LINE INDICATES ROOF OUTLINE ABOVE
 - 12 (E) CURB AND GUTTER TO REMAIN

PLANT KEY

- | SYMBOL | BOTANICAL NAME |
|--------|-------------------------------|
| ○ | CERCIS OCCIDENTALIS |
| ⊙ | AZALEA 'SOUTHERN INDICA' |
| ⊛ | LEUCOPHYLLUM 'LYNN'S LEGACY' |
| * | LIRIOPW M. 'SILVERY SUNPROOF' |
| ⊗ | MUHLENBERGIA C. 'REGAL MIST' |
| ⊕ | NERIUM 'PETITE PINK' |
| ⊖ | PRUNUS C. 'BRIGHT AND TIGHT' |
| ⊗ | RHAPHIOLEPIS U. 'MINDR' |
| ⊕ | ROSMARINUS 'HUNTINGTON BLUE' |
| ⊖ | ROSA X. 'FLOWER CARPET WHITE' |
| ⊗ | TEUCRIUM 'PROSTRATUM' |



A PROPOSED FOUR-PLEX:

525 S. "I" STREET

TULARE, CA 93274

DRAWING SET:
 DATE: 03.01.2021
 DRAWN BY: DAVID LATHROP
 JOB NO: 21003BC
 SCALE: AS NOTED

SHEET NAME:
SITE PLAN REVIEW

SHEET NUMBER:
SPR

BLAIN COMPANIES
 LIC NO. 02087171

128 N. M STREET
 TULARE, CA 93274
 TEL: (559) 936-0456